

Agenda

Town of Seekonk, MA Planning Board

05/10/16

7:00 PM

Seekonk Town Hall
BOS Meeting Room

Type of meeting:

Planning Board Regular Meeting

7:00 PM

Agenda topics – More information on each item can be found on our website – www.seekonk-ma.gov under Departments>Planning>Agenda Items

Applications

ANR Application for 12 Kenwood Court,
Reconstruction of lot lines between existing
lots being AP 16, lots 169 & 171 located off
Lincoln Street

Jo-Ann Kazarian

Site Plan Application for proposed General
Contractor Administrative Offices and Storage
Garage at **0 Hollister Road,** AP 1, lot 126

JDB Properties, LLC/
Coletta Contracting Co.,
Inc.

Site Plan Application for proposed Wireless
Communications Facility located at **1494 Fall River**
Avenue, AP 4, Lot 4

Cellco Partnership d/b/a
Verizon Wireless

Country Brook Estates, Antonio Dr. (off Arcade Ave.)
Change Affordable Lot
Lot 18 to Lot 1

Costa Development, LLC

ANR Application for 41 Lake Street,
Five lot subdivision on 23.67 acres
AP 16, lot 2

John T. Drohan, et al

Other Business

Subdivision Rules and Regulations
Work Session
Monthly Report
SRPEDD Update
Correspondence

John Aubin

Approval of Minutes: 4/12/2016

Adjournment



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

To: The Planning Board
From: John J. Aubin III, Town Planner
Date: May 10, 2016
Application Filed: April 22, 2016

APPROVAL NOT REQUIRED REVIEW (ANR)
Jo-Ann Kazarian – Plat 16, Lots 169 and 171 – 6 and 12 Kenwood Court

Existing Conditions:

The subject lots, AP 16, lots 169 and 171, are comprised of 1.96 and .76 acres of land respectively, located in an R-2 Zoning District having a minimum required 22,500 square feet of area and 120' of frontage per lot in accordance with **Section 5** of the Seekonk Zoning By-laws. Lot 169 is currently developed with a single family dwelling and lot 171 is undeveloped. Lot 169 has approximately 100 feet of frontage on Kenwood Court (with a frontage requirement reduced per the Alternate to Standard Minimum Provisions of the Dimensional Table). Lot 2 has approximately 150 feet of contiguous frontage along Kenwood Court. The submitted plan reconfigures the lot line between the two properties adding parcel 'A' to Lot 169 from Lot 171. The reconfiguration appears to resolve an encroachment issue created by a gravel path to a shed on Lot 169. Attached please find a copy of the Town's online GIS aerial of the subject lots and surrounding area.

Proposed Lot Amendments and plan references:

The submitted plan creates no new lots for development or changes to the existing frontages of the subject lots and results in lot configurations as follows:

Lot 169 and Parcel 'A' having 87,385 square feet (2.006 acres) of land area and approximately 100 feet of contiguous frontage on Kenwood Court; and

Lot 171 having 31,445 (.722 acres) square feet of land area and approximately 150 feet of contiguous frontage on Kenwood Court.

Recommendation:

Staff recommends endorsement of the submitted APPROVAL NOT REQUIRED PLAN OF LAND prepared for Kenneth and Jo-Ann Kazarian dated April 15, 2016 as it meets the exemption clause within the definition of a subdivision in the Rules and Regulations Governing the Subdivision of Land for changing the size of lots in such a manner so as to not leave any lot affected without the proper frontage.

Kenwood Court AP 16, Lots 169 and 171 Existing Conditions



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

Town of Seekonk, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 5/1/2015
Properties updated 1/1/2015



TOWN OF SEEKONK

FORM **A**

PLANNING BOARD

100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961

APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED NOT TO REQUIRE APPROVAL

Date: 4-22-16

Applicant Name Jo-Ann Kazarian Phone No. 401-499-8897

Applicant Address 12 Kenwood Court. Seekonk Ma 02771

Address of Subject Property 3 Kenwood Court

Subject Property Plat No. 16 Subject Property Lot No. 169^{4/77} Present Zoning AR2

1. Deed of property recorded in Bristol County Registry, Book No. _____ Page No. _____

2. Name of Engineer or Surveyor Waterman Engineering Mass Lic. No. _____

Address Sutton Ave East Providence, RI

Brief Description of lot lines being changed and why:

Reconstruct lot lines between Existing
lots

Checklist Form A:



Application Form (2 x)

Please note: both copies must be originals, 1 copy for Planning, 1 copy for Town Clerk



Application fee, ck# 259600

Please note: \$100 per lot, \$200 minimum, (made payable to the Town of Seekonk)



Certificate of Good Standing, completed and signed by Tax Collector APR 22 '16 AM 10:43



Plans received in CD or DVD format need



Plans received (1) Mylar, (4) prints, (1) 11" X 17", (see sec. 3.3.4 of Rules & Regs.)

- need

RECEIVED APR 22 2016

To the Planning Board:

The undersigned, believing that the accompanying plan of his property in the Town of Seekonk does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

Received by Planning Board or Town Clerk:

Date April 22, 2016

Time 10:30 am

*Signature [Signature]

Jo-Ann Kazarian
*Signature of Applicant

Jo-Ann Kazarian
Print Name

12 Kenwood Court
Address of Applicant

Seekonk ma 02771

Jo Ann Kazarian
*Signature of Owner or Notarized letter (if applicable)

Address of Owner 12 Kenwood Court

Seekonk ma

*Please use blue pen to sign

RECEIVED APR 22 2016



Agenda Item: 2
Date: May 10, 2015

Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

TO: Planning Board
FROM: John J. Aubin III, Town Planner
RE: Site Plan Application for proposed 5,000 square foot contractor's office and storage facility at 0 Hollister Road being AP 1, Lot 126 located in an Industrial Zoning District

APPLICATION FILED: April 20, 2016

APPLICANT: JDM Properties, LLC

OWNER: Same

LOCATION: Hollister Road, AP 1, lot 126

REQUESTED ACTION: Site plan review to construct 5,000 square foot office and storage facility and associated site improvements to establish general contractor use

APPLICABLE ZONING BY-LAW PROVISIONS:

1. **Section 2.8 Site Plan Review**
2. **Section 8 Development and Design Standards**

ANALYSIS:

The applicant is before the Planning Board for site plan review in accordance with **Section 2.8 Site Plan Review** of the **Town of Seekonk Zoning By-Laws** seeking to construct a 5,000 square foot building and associated site improvements in order to establish a general contractor use on the subject parcel.

The subject parcel is comprised of 21,780 square feet of land zoned Industrial. The previous use is indicated on the submitted materials as agricultural. Much of the subject area was utilized for agricultural purposes prior to the development of the current Route 6 Commercial/Industrial corridor. The parcel is comprised of one existing lot of record. The surrounding area is comprised of high density commercial and industrial development associated with the Route 6 corridor with some residential development along the corridor and to the South. A right-of-way/paper street abuts the parcel to the east and provides access to the industrial development on the lots to the east of the subject parcel. Attached are copies of the Town's GIS

aerial photos depicting the existing conditions on site and in the area. The proposed development is generally consistent with mixed nature of the surrounding development.

The applicant is proposing to construct a 5,000 sq. ft. office and storage building on the subject lot with associated site improvements related to the establishment of a general contractor's office on the site. A parking area is proposed along the front of the building with 5 spaces (1 HC van accessible) on a paved parking area. A crushed stone drive provides access to the overhead door on the north side of the building. No outdoor equipment storage is shown on the submitted plans. Access to the site is provided via a proposed curb cut onto Hollister Road. Stormwater drainage is proposed to be handled onsite via a swale system and infiltration of the roof runoff via a "stormtech" subsurface drainage system located under the parking area. The applicant is requesting a waiver of a peer review of the stormwater management system by the Planning Board's consulting engineer. The proposed sewage disposal system has been reviewed by the Health Agent but will require final approval in accordance with the Regulations of the Board of Health. The applicant is proposing a 500 gallon "industrial wastewater" underground storage tank proximate to the overhead door garage entrance. The Planning Board may wish to inquire as to the intended use of the storage tank and any anticipated hazardous or otherwise dangerous materials expected to be stored on the property. Landscaping areas are shown on the submitted plan, however, the Planning Board may wish to require that the final plan include specific planting details. No proposed lighting details have been provided.

The application was reviewed by the Technical Review Committee on April 30, 2016. During that review the primary focus of the nature of the use and ability of vehicles to access the garage from the 20' gravel drive. The Planning Board may wish to inquire as to the intended nature of the use with regard to:

- Outdoor vehicle, equipment or material storage associated with the proposed use;
- The storage of any hazardous or otherwise dangerous material on site; and
- Adequacy of the 20' gravel drive to access the overhead garage door given the size of vehicles expected on site and any outdoor material or vehicle storage in the crushed stone area.
- Planting and lighting details

Should the Planning Board deem it appropriate to grant the requested site plan approval, it is respectfully requested that the Board make the follow findings of facts with regard to the proposed development based on the submitted application, supporting materials, and evidence presented by the applicant:

- Pursuant to **Section 2.8.5 Procedure** of the **Zoning By-laws** that the applicant has met the requirements for the grant of a Certificate of Approval for the proposed Site Plan.
- That the submitted site plan meets the requirements of **Section 8 Development and Design Standards** of the **Zoning By-laws**

The Office of Planning and Zoning would respectfully recommend the Planning Board consider the following conditions on any approval it may deem appropriate to grant relative to the subject application:

1. Approval of the proposed waste water treatment system by the Seekonk Board of Health;
2. Resolution of any outstanding comments generated by the staff and submission of a final plan addressing all issues generated by the staff and Planning Board reviews of the application.
3. Any and all hazardous or otherwise dangerous materials stored on-site in association with the proposed use shall be stored and maintained in full compliance with all applicable Federal, State, and local requirements and regulations related to storage, maintenance, reporting, emergency response, containment and coordination with the local fire authorities.
4. Such other conditions as the Planning Board deems appropriate to ensure that the proposed development meets the required site plan design standards as set forth in the **Town of Seekonk Zoning By-laws**.

AP 1 lot 126, 0 Hollister Road - Area view

**Property Information**

Property ID 265/001.0-0000-0126.0
Location 0 HOLLISTER RD
Owner



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

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Parcels updated 5/1/2015
Properties updated 1/1/2015

AP 1 lot 126, 0 Hollister Road - Existing Conditions



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Parcels updated 5/1/2015
Properties updated 1/1/2015



TOWN OF SEEKONK

FORM **D**

PLANNING BOARD

100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961

APPLICATION FORM FOR APPROVAL OF SITE PLAN REVIEW

Date: April 12, 2016

Applicant Name JDM Properties, LLC c/o SITEC Phone No. 508-998-2125

Applicant Address 449 Faunce Corner Road, Dartmouth, MA 02747

Address of Subject Property Hollister Road

Subject Property Plat No. 1 Subject Property Lot No. 126 Present Zoning I

Checklist Form D:

- ☒ Application Form (2 x) Please note both copies must be originals, 1 copy for Planning and 1 copy for Town Clerk.
- ☒ Application fee is \$2.00 dollars per parking & loading space with a \$25 dollar minimum fee, CK # 1016 made out to the Town of Seekonk. The cost for an outside consultant review shall be borne by applicant
- ☒ Certificate of Good Standing, completed and signed by Tax Collector
- ☒ Applicant responsible for forwarding (1) copy of Plans and Drainage Report to Consulting Engineers. (Planning office will advise who the Engineers are for the project).
- ☒ Site Plan received (8) copies and (1) 11" x 17" conforming to the applicable contents of sec. 5.3 in the rules & regs. Governing subdivision of land in Seekonk.
(5) Plans after approval.
- ☒ Site Plan Received (1) copy CD or DVD
- ☒ Erosion & Sedimentation Control Plan conforming with Categories 20B & 20C of General By-laws.
- ☐ N/A Site is 0.5 Acres
Drainage Plan/Calculations conforming with Categories 20B & 20C of General By-laws
- ☐ See Grading & Utility Plan
Landscaping Plan

APR 20 '16 PM 1:31

- ☐ PAC Wall Mounted
Lighting Plan
- ☒ Less than 100 new trips per day.
Traffic study or documentation that sec. 10.6.1.20 does not apply
- ☒ Architectural Plan

Received by:

Date: 4/20/16

Time: 1:31 pm

*Signature: Aristen L. Henry

*Signature of Applicant

John Keegan
John Keegan
Address of Applicant _____

449 Faunce Corner Road, Dartmouth,
MA 02747

*Signature of Owner or Notarized letter (if applicable)

Randy Carter

Address of Owner _____

12 Windsor Drive, Barrington, RI 02806

*Please use blue pen to sign

INDUSTRIAL DEVELOPMENT HOLLISTER ROAD IN SEEKONK, MASSACHUSETTS

MAP/LOT
1 - 126

OWNER:
JOM PROPERTIES, LLC

ADDRESS:
12 WINSOR DRIVE
BARRINGTON, RI 02806

APPLICANT: COLETTA CONTRACTING CO., INC.
83 POWER ROAD
PAWTUCKET, RI 02860

LOCUS:

MAP: 1 - LOT 126

PREPARED BY:

SITEC

Civil and Environmental Engineering
Land Use Planning

SITEC, Inc.
449 Faunce Corner Road
Dartmouth, MA 02747
(508) 998-2125
FAX (508) 998-7554



LOCUS MAP

SCALE: 1"=200'±

INDEX OF DRAWINGS

SHEET NO.	TITLE
---	TITLE SHEET
1 OF 6	SITE LAYOUT
2 OF 6	GRADING AND UTILITIES PLAN
3 OF 6	EXISTING CONDITIONS
4 OF 6	DETAIL SHEET
5 OF 6	INDUSTRIAL WASTEWATER HOLDING TANK DETAIL SHEET
6 OF 6	SSDS PLAN

SITE INFORMATION

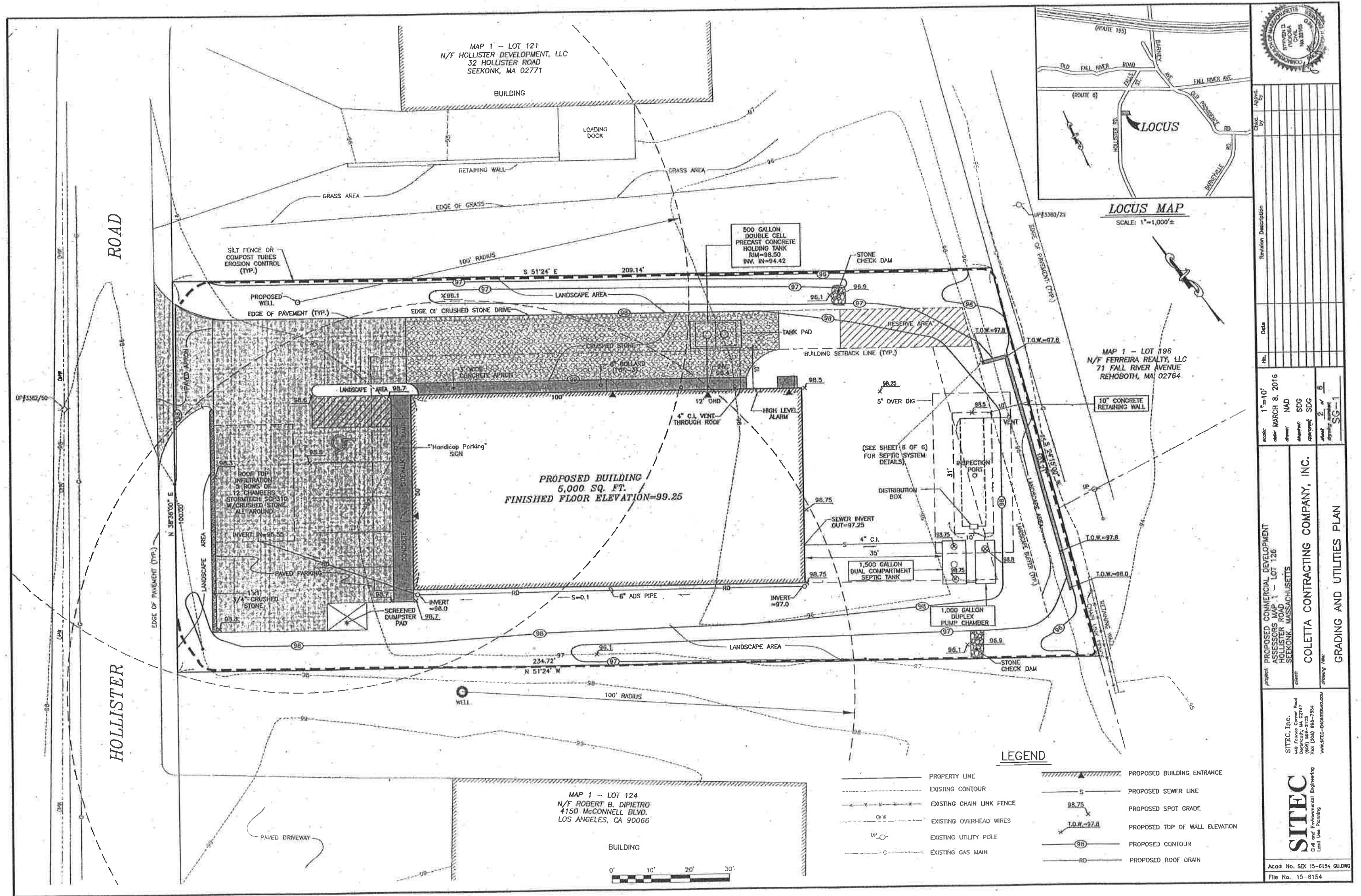
ZONING DISTRICT: INDUSTRIAL - I
EXISTING USE: FARM FIELD
PROPOSED USE: GENERAL CONTRACTOR
ADMINISTRATIVE OFFICES = 2450 SF
STORAGE GARAGE = 2250 SF

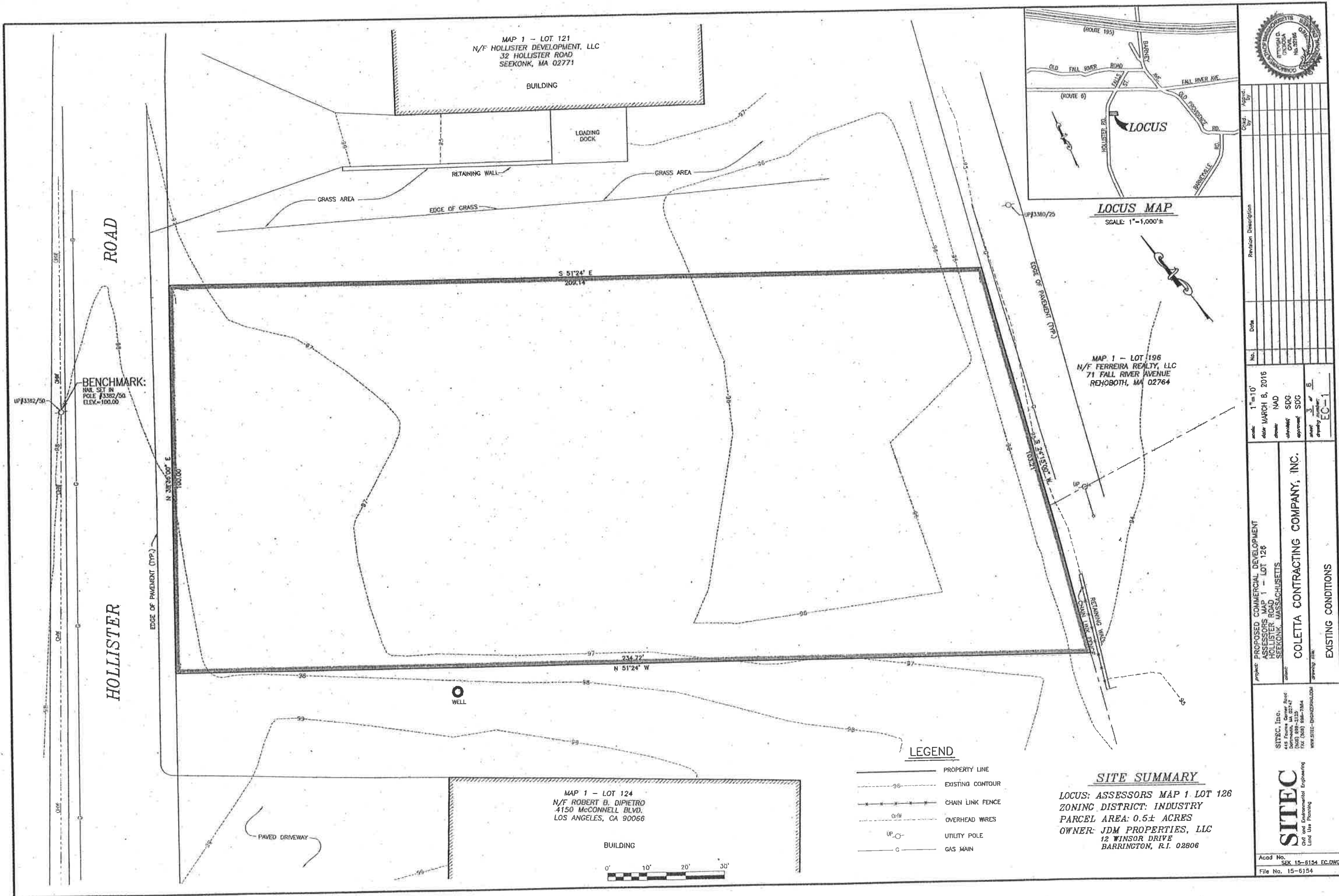


	REQUIRED	PROVIDED
MINIMUM LOT AREA (SF)	20,000	21,780
MAXIMUM LOT COVERAGE (%)	50	49
MINIMUM FRONTAGE (LF)	50	100
MINIMUM DEPTH OF FRONT YARD (FT.)	50	60
MINIMUM DEPTH OF REAR YARD (FT.)	20	55
MINIMUM DEPTH OF SIDE YARD (FT.)	20	20
MAXIMUM HEIGHT (FT.)	40	28

PARKING REQUIREMENT:
5 EMPLOYEES = 5 SPACES PROVIDED
2 SPACES PROVIDED IN GARAGE
TOTAL SPACES PROVIDED = 7

DATE: MARCH 8, 2016



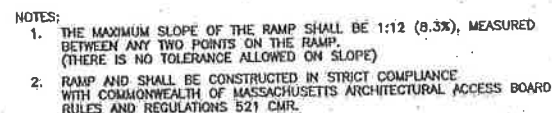
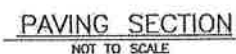


Revision	Description	Date	No.
1	1"=10'		
2	DATE: MARCH 8, 2016		
3	DESIGNED: NAD		
4	CHECKED: SDG		
5	APPROVED: SDG		
6	DRAWN: SDG		
7	DATE: MARCH 8, 2016		
8	PROJECT: PROPOSED COMMERCIAL DEVELOPMENT		
9	ASSESSORS MAP 1 - LOT 126		
10	HOLLISTER ROAD		
11	SEEKONK, MASSACHUSETTS		
12	CLIENT: COLETTA CONTRACTING COMPANY, INC.		
13	DRAWING TITLE: EXISTING CONDITIONS		
14	DATE: MARCH 8, 2016		
15	PROJECT: PROPOSED COMMERCIAL DEVELOPMENT		
16	ASSESSORS MAP 1 - LOT 126		
17	HOLLISTER ROAD		
18	SEEKONK, MASSACHUSETTS		
19	CLIENT: COLETTA CONTRACTING COMPANY, INC.		
20	DRAWING TITLE: EXISTING CONDITIONS		

Acad No. 15-6154 EC.DWG
File No. 15-6154

SITEC, Inc.
444 Route 1
Seekonk, MA 02771
(508) 899-1133
Fax: (508) 899-7264
WWW.SITEC-ENGINEERING.COM

SITEC
Civil and Environmental Engineering
Land Use Planning

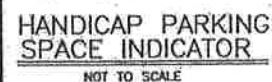


SIDEWALK RAMP DETAIL
NOT TO SCALE



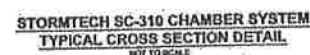
TYPICAL CONCRETE WALK-CURB DETAIL
NOT TO SCALE

1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
4. COMPOST TUBES OR SILT FENCE WILL BE INSTALLED AS SHOWN ON THE PLANS.



HANDICAP PARKING
SPACE SIGN

NOT TO SCALE



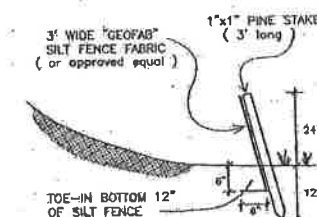
RETAINING WALL NOTES

1. CONCRETE - 3000 PSI, 3/4" AGGREGATE.
2. STEEL REINFORCEMENT TO BE 60,000 PSI.
3. ALL UNSUITABLE MATERIAL UNDER PROPOSED FOOTING TO BE REMOVED AND REPLACE WITH CRUSHED STONE.

Diagram Labels:

- 4" CHAIN LINK FENCE SECURED TO RETAINING WALL.
- TOP OF WALL ELEV. 97.8
- F GALV. PIPE SLEEVE EQUAL O.D. OF FENCE PLUS 1"
- 10"
- 12"
- 3"
- 15" Ø 12" o.c.
- APPLY 50 MILL WATER PROOF MEMBRANE BEGIN AT NORTH END OF WALL AND END 50' SOUTH
- 2" CLEAR
- FO WARES
- 15" Ø 12" o.c.
- 2x4 KEY
- 1'-0"
- 2'-0"
- 4" MIN
- 2'-0"
- 12"
- 2-#5 Ø BOTTOM
- #6 Ø 12" o.c.
- #5 Ø 12" o.c.
- 3"
- 3'-10"

CEMENT CONCRETE RETAINING WALL DETAIL
NOT TO SCALE



SILT / EROSION
CONTROL FENCING
NOT TO SCALE

No.	Date	Revision Description	Checked by	Approved by
	1 st - 10'			
	DATE MARCH B, 2016			
	WATER NAD			
	PROJECT SDG			
	APPROVED SDG			
	SHEET 4 OF 6			
	DRAWING NUMBER:			

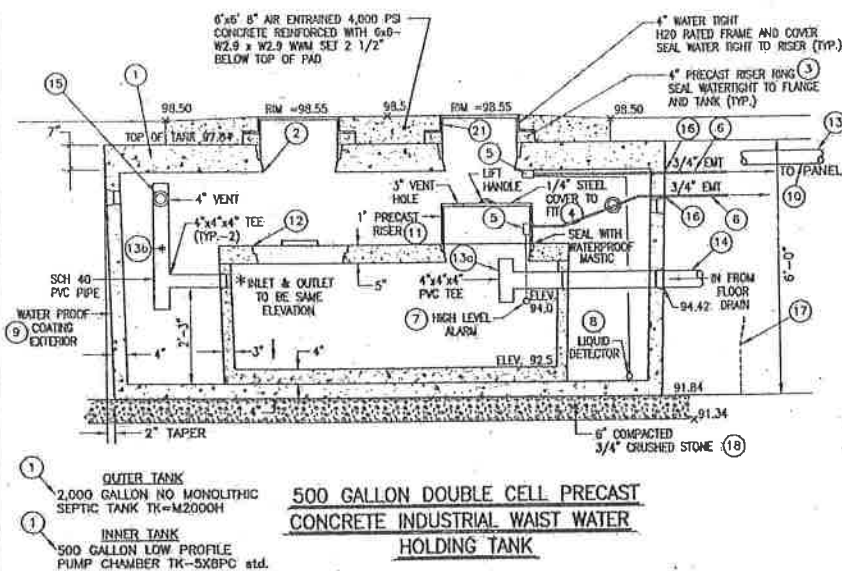
PROJECT: PROPOSED COMMERCIAL DEVELOPMENT
ASSESSORS MAP 1 - LOT 126
HOLLISTER ROAD
SEEKONK, MASSACHUSETTS

DETAIL SHEET

SITEC, Inc.
149 Fausse Corner Road
Dorchester, MA 02747
508/933-2125
FAX (508) 933-7054

SINCE

Acad No.	SEX 15-6154
	DETAIL SHEET.DWG
File No.	15-6154



INDUSTRIAL WASTEWATER HOLDING TANK (IWHT) BOYANCY CALCULATIONS

UPWARD FORCES

2,000 GALLON TK M 2000H = 398 CF X 62.4 LBS/CF=24,848 LBS

TOTAL UPWARD FORCES = 24,848 LBS.

DOWNWARD FORCES

TK M 2000H = 21,255 LBS.
TK 5X8 PC STD. = 6,298 LBS.

OVERBURDEN TOP OF TANK =
(13' X 7' X .66) X 100LBS = 6,006 LBS

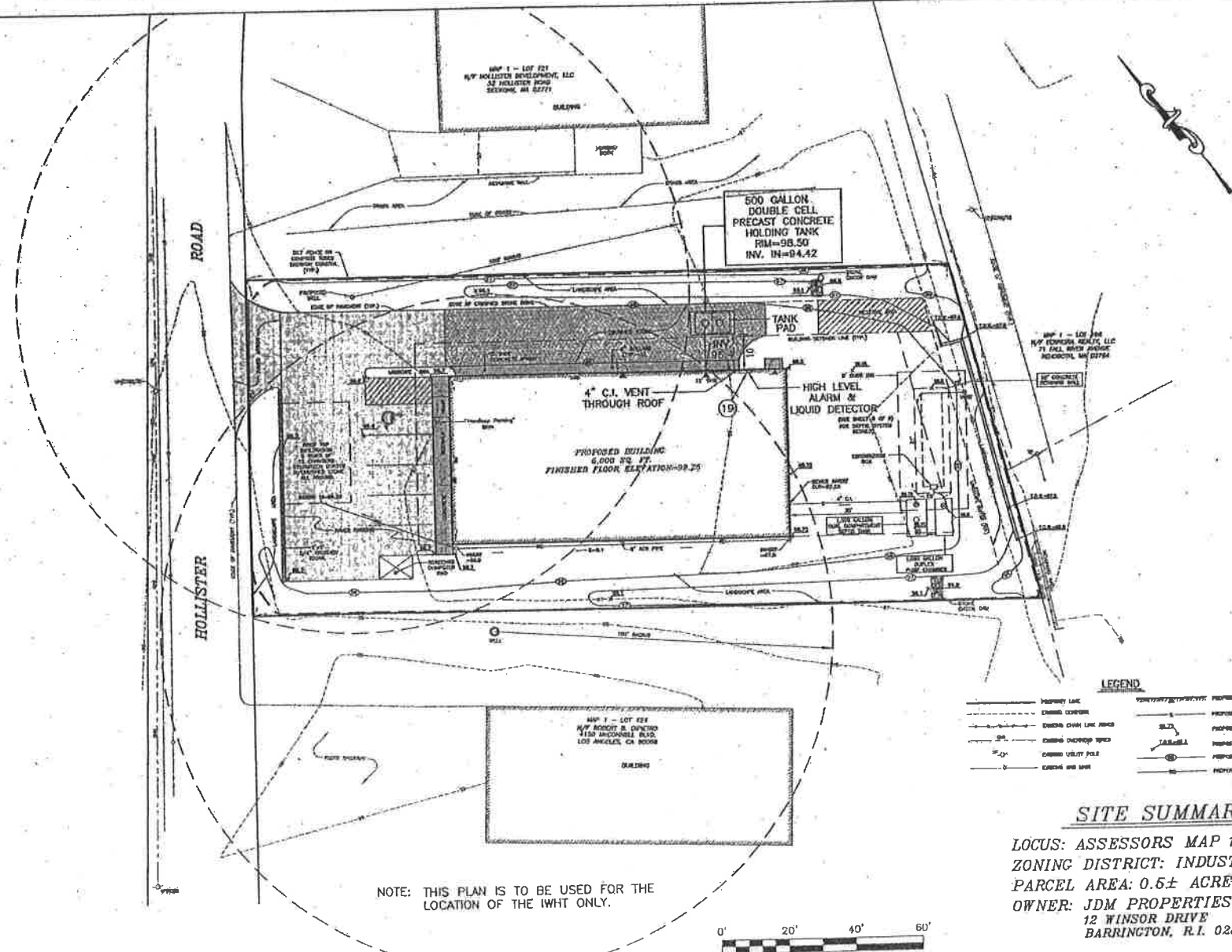
TOTAL DOWNWARD FORCES= 33,559 LBS.

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO ORDERING ANY MATERIALS. THIS PLAN IS BASED ON FIELD AND RECORD INFORMATION, AND THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJUTING AREA AND UTILITIES IN THE CONSTRUCTION OF THE SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNERS.
- THE CONTRACTOR SHALL COORDINATE UTILITY INSTALLATION WITH APPROPRIATE UTILITY COMPANY AND SUPPLY ADEQUATE POWER SOURCE FOR THE MONITORING EQUIPMENT OF THE INDUSTRIAL WASTEWATER HOLDING TANK (IWHTS).
- ALL ELECTRICAL WORKMANSHIP AND MATERIALS MUST CONFORM TO THE REQUIREMENTS AND BE SUITABLE FOR USE IN CLASS 1, DIVISION 1 LOCATIONS AS DEFINED IN 527 CMR 12.00: THE MASSACHUSETTS ELECTRICAL CODE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION, SIZE AND ELEVATIONS OF THE PROPOSED FLOOR DRAINS WITH THE PLUMBING PLANS PRIOR TO ANY CONSTRUCTION OR ORDERING IWHTS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IWHTS WITH THE DESIGN ENGINEER.
- ALL INDUSTRIAL WASTE WATER COLLECTED IN THE INDUSTRIAL WASTE WATER HOLDING TANK WILL BE DISPOSED OF ACCORDING TO ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE WASTE WATER HAULER WILL BE LICENSED WITHIN THE STATE OF MASSACHUSETTS.

EQUIPMENT LIST FOR 500 GALLON PRECAST CONCRETE DOUBLE CELL INDUSTRIAL WASTEWATER HOLDING TANK

- INDUSTRIAL WASTEWATER HOLDING TANK (IWHT). OUTER TANK: 2,000 G. MONOLITHIC PRECAST SEPTIC TANK TK - M 2000H; INNER TANK: 500 G. LOW PROFILE PUMP CHAMBER TK - SXBPC AS MANUFACTURED BY SHEA PRE CAST OR APPROVED EQUAL.
- TANK TOP OPENINGS TO BE 20" DIAMETER AND OUTER TANK SHALL MATCH OPENINGS IN INNER TANK.
- 1" PRECAST RISER. INSTALLATION MUST BE WATER TIGHT.
- 1/4" ROUND STEEL PLATE COVER WITH HANDLE AND 3" OPENING.
- EXPLOSION PROOF JUNCTION BOX (TYP.).
- RIGID METAL CONDUIT WITH WYES SEAL OFFS (TYP.).
- TANK LEVEL MONITOR.
- WATER DETECTION SENSOR.
- THE OUTER TANK WILL BE COATED WITH WATERPROOF COATING.
- VENT PIPING SHALL BE 4" CI PIPE AND FITTINGS.
- ALL RISERS AND RISER RINGS WILL BE SEALED WATER TIGHT.
- ALL PRECAST CONCRETE COVERS LEFT IN PLACE WILL BE SEALED WATER TIGHT.
- 4" VENT PIPE - RUN BACK INTO BUILDING AND UP THROUGH THE ROOF.
- 4"x4"x4" TEE W/4"
- 4"x4"x4" TEE FOR VENT.
- 4" FLOOR DRAIN PIPE. S=0.01 MIN.
- WATER TIGHT FLEXIBLE PIPE ENTRY BOOT (TYP.) 4" FOR INLETS AND VENT PIPING.
- WATER TIGHT FLEXIBLE RMC ENTRY BOOT.
- SLOPED OR SHORED EXCAVATION PER OSHA STANDARDS.
- 6" COMPACTED 3/4" CRUSHED STONE BED BELOW IWHT.
- ELECTRONIC LIQUID-LEVEL AND HIGH LEVEL MONITORING SYSTEM HAVE A NEMA 4X, WEATHERPROOF, CORROSION-RESISTANT ENCLOSURE) EQUIPPED WITH AUDIO-VISUAL ALARM, 120 VAC POWER SOURCE, BY CONTRACTOR) AND POWER SOURCE TO THE SENSORS SHALL BE INTRINSICALLY SAFE FOR CLASS I, GROUP D HAZARDOUS LOCATIONS.) CONTROLLERS TO BE LOCATED INSIDE THE BUILDING IN A MANINED AREA.
- THE UST SHALL HAVE A NAME PLATE CERTIFYING FABRICATION TO UL1316, FILE MH 9052 AND STATE REGULATIONS BY MANUFACTURER, AND SHALL BE PERMANENTLY AFFIXED TO THE INNER TANK. SHALL HAVE YEAR MANUFACTURED, ID NO., DIMENSIONS, CAPACITY, MODEL NO., AND UL ID NO.. A PERMANENT BRASS PLAQUE SHALL BE CONSPICUOUSLY DISPLAYED AND PERMANENTLY AFFIXED TO THE TANK MAN WAY COVER AND AT THE UST MONITORING SYSTEM CONTROLLER.
- THE INSIDE OF THE 24" MANHOLE FRAME WILL HAVE ATTACHED A PLASTIC TYPE LABEL STATING "NON-HAZARDOUS INDUSTRIAL WASTE-WATER".
- A COPY OF ALL INSTALLATION MANUALS, DRAWINGS/SPECIFICATIONS, TANK CHARTS, COPIES OF APPROVED PERMITS, OPERATING RECORDS INCLUDING WASTEWATER SHIPMENTS, ULTIMATE DESTINATION AND HAULER INFORMATION WILL BE KEPT AT THE FACILITY IN A BINDER WITH EASY ACCESS.
- DESIGN FLOWS: 50 GPD BASED ON SIMILAR FACILITY.
- A CONTRACT IS IN PLACE WITH _____ TO MAINTAIN AND REMOVE WASTE WATER.



SITE SUMMARY

LOCUS: ASSESSORS MAP 1 LOT 126
ZONING DISTRICT: INDUSTRY
PARCEL AREA: 0.5± ACRES
OWNER: JDM PROPERTIES, LLC
12 WINSOR DRIVE
BARRINGTON, R.I. 02806



Revised	By	Date	As NOTED
			March 8, 2016
			drawn: NAD
			checked: SDG
			approved: SDG
			sheet: 5 of 6
			drawing number: HT-1

PROJECT: PROPOSED COMMERCIAL DEVELOPMENT
ASSESSORS MAP 1 - LOT 126
HOLLISTER ROAD
SEKONK, MASSACHUSETTS
CLIENT: COLETTA CONTRACTING COMPANY, INC.
DRAWING: INDUSTRIAL WASTEWATER HOLDING TANK
DETAIL SHEET

SITEC, Inc.
440 Route 1A, Suite 101
Barrington, RI 02806
(401) 949-2125
Fax (401) 949-7854
www.sitec-engineering.com
Soil and Environmental Engineering
Land Use Planning

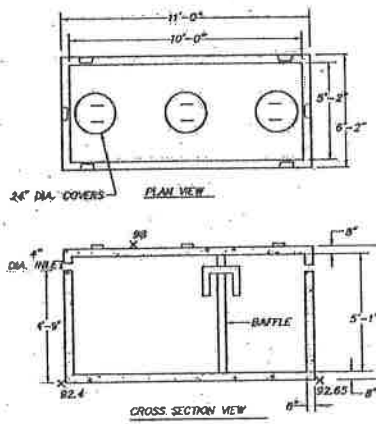
Acad No. SDX 15-0154
HOLDING TANK DETAIL
File No. 15-0154

SOIL DATA

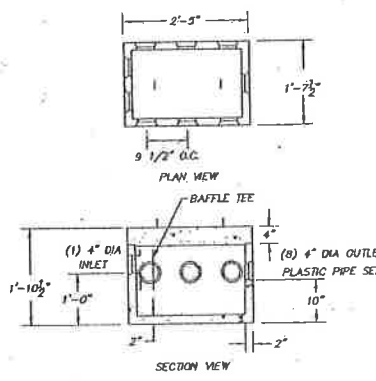
PREPARED BY: SITEC, INC.
DATE: NOVEMBER 21, 2015

WITNESSED BY:
J. R. CHENEVERT

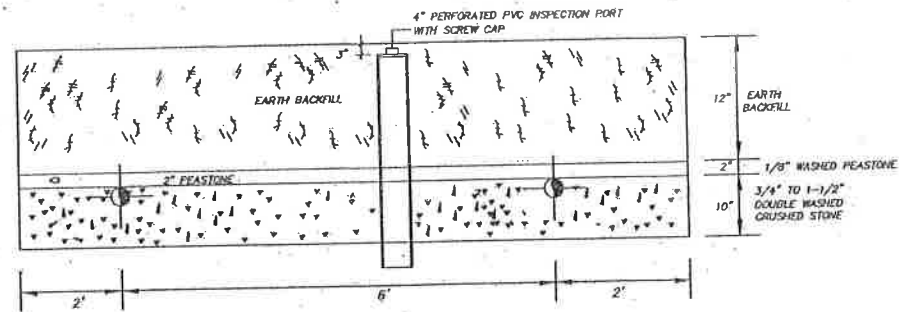
0"	TP#1	ELEV. = 95.7	0"	TP#2	ELEV. = 95.8
16"	A	SANDY LOAM	16"	A	SANDY LOAM
30"	B	SANDY LOAM	30"	B	SANDY LOAM
101R 3/3			101R 3/3		
101R 6/6			101R 6/6		
C1			C1		
101R 5/3			101R 5/3		
101R 5/3			101R 5/3		
112"			108"		
EST. HGW ELEV. = 94.7			EST. HGW ELEV. = 94.8		
PERC @ 30" = 30%			PERC @ 30" = 30%		
RATE: < 24IN/INCH			RATE: < 24IN/INCH		
MOTLING @ 60"			MOTLING @ 60"		
WEPPING @ 95"			WEPPING @ 78"		



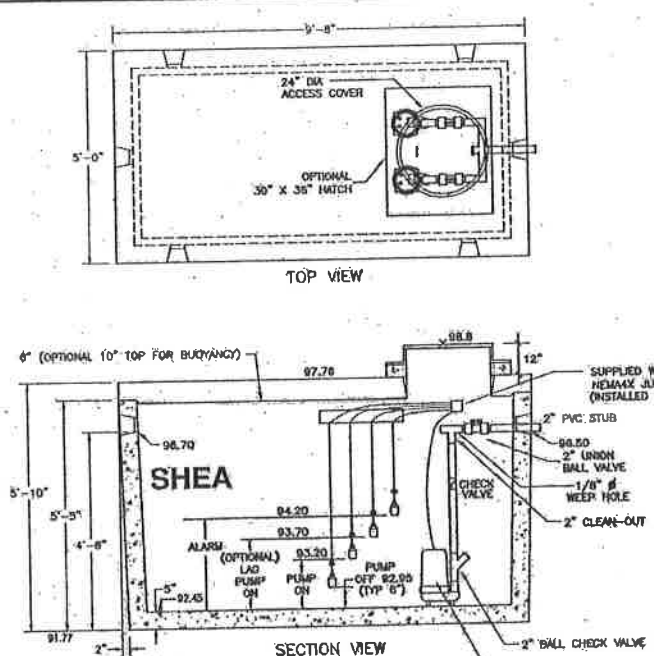
NOTES:
1. TANK SHALL BE SHEA CONCRETE PRODUCTS, 1,500 GALLON DUAL COMPARTMENT, H-20 SEPTIC TANK MODEL TK-1500C20 OR APPROVED EQUAL.
2. JOINT SHALL BE SEALED WITH 1" BUTYL RUBBER OR APPROVED EQUAL.
3. INLET/OUTLET TEES SHALL COMPLY WITH TITLE V REGULATIONS.
4. INSTALL ZABEL 1800-4010-VT-940 AT SEPTIC TANK OUTLET.
H-20 1,500 GALLON SEPTIC TANK TWO COMPARTMENT (NOT TO SCALE)



H-20 DISTRIBUTION BOX
NOT TO SCALE



TYPICAL FIELD CROSS SECTION
NOT TO SCALE

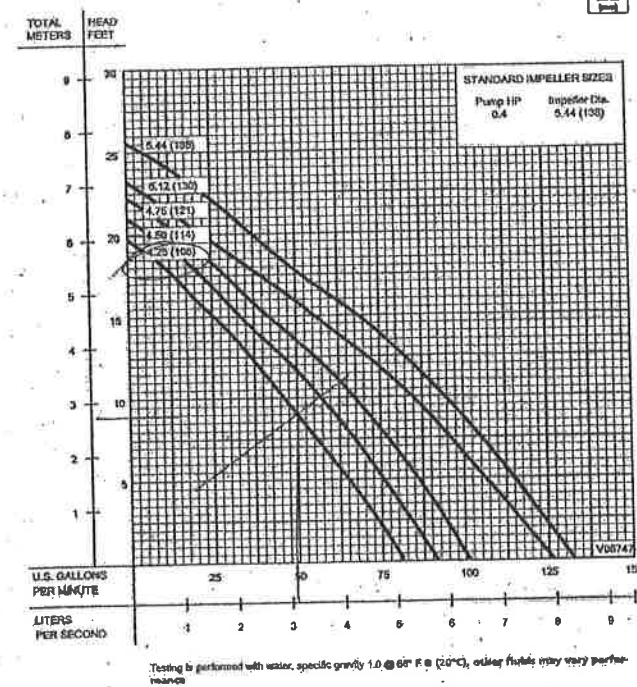


NOTES:
1. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CONSTRUCTION OF PUMP CHAMBER CONFORMS WITH DEP-TITLE 5 REGS, 310 CMR, SECTION 15.22B.
3. ALL REINFORCEMENT PER ASTM C1227.
4. JOINT SEALED WITH BUTYL RESIN.
5. DESIGNED FOR H-20 LOADING.
6. PUMPS, FLOATS AND PIPE INSTALLED IN CHAMBER. FLOAT ELEVATIONS SET UPON REQUEST.
7. SUPPLIED WITH PUMP CONTROL PANEL W/ALARM.
8. LAG & ALARM FLOATS CAN BE SWAPPED OR COMBINED INTO ONE FLOAT.
1000 GALLON PUMP CHAMBER DUPLEX PUMP PACKAGE

1000 GALLON PUMP CHAMBER
DUPLEX PUMP PACKAGE

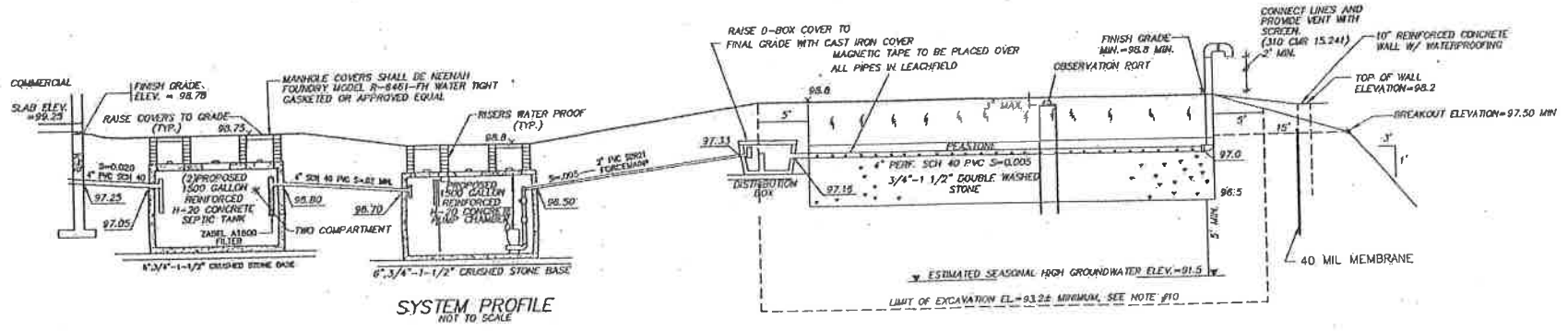
BARNES
www.barnespumps.com

Series SE
Performance Curve
.4HP, 1750RPM, 60Hz
Submersible Effluent Pumps



CRANE
A Crane Co. Company

PUMPS & SYSTEMS
USA: (937) 778-8047 • Canada: (905) 457-8223 • International: (937) 815-3598



SYSTEM PROFILE
NOT TO SCALE

DESIGN DATA

DESIGN FLOW: OFFICE: 2450 SF / 1000 SF @ 75 GPD = 184 GPD
STORAGE: 3 EMPLOYEES @ 15 GPD / EMPLOYEE = 45 GPD
TOTAL 229 GPD
DESIGN PERC RATE: > 2 MIN. / INCH
SYSTEM DESIGN: USE 31"x10" LEACHING FIELD
BOTTOM: 31"x10" = 310 x 0.74 G/SF = 229 GPD
SYSTEM TANK SIZING:
OFFICE / STORAGE = 229 GPD x 200% = 458 GPD REQUIRED
USE 1,500 GALLON DUAL COMPARTMENT SEPTIC TANK

VARIANCES

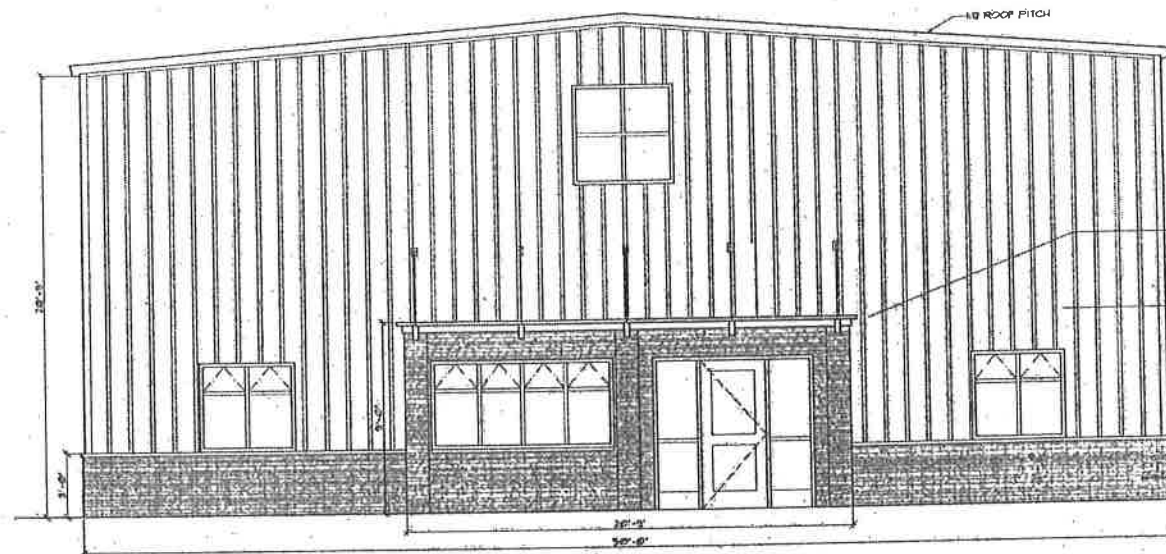
GENERAL NOTES

- THIS SYSTEM SHALL BE INSPECTED WHEN LEACHING AREA IS FULLY EXCAVATED AND WHEN ALL COMPONENTS ARE IN PLACE. WHEN THE SYSTEM IS READY FOR INSPECTION, THE CONTRACTOR SHALL NOTIFY THE SEENOK LOCAL BOARD OF HEALTH.
- DOUBLE WASHED CRUSHED STONE SHALL BE FREE OF ALL DIRT, DUST AND FINES.
- ALL ELEVATIONS ARE BASED ON ASSIGNED ELEVATION DATUM.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE LIMITS OF THE SEWER DISPOSAL SYSTEM DURING THE COURSE OF CONSTRUCTION.
- NO FIELD MODIFICATIONS TO THE SEWAGE DISPOSAL SYSTEM SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER AND THE LOCAL BOARD OF HEALTH.
- UNLESS OTHERWISE NOTED ALL SYSTEM COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH TITLE V OF THE STATE ENVIRONMENTAL CODE AND ANY APPLICABLE LOCAL REGULATIONS.
- SEPTIC TANK, DISTRIBUTION BOX, ETC. SHALL BE MANUFACTURED BY SHEA PRECAST OR APPROVED EQUAL.
- GROUT TO BE USED AT ALL POINTS WHERE PIPES ENTER OR LEAVE ALL CONCRETE STRUCTURES IN ORDER TO PROVIDE A WATERPROOF SEAL.
- ALL SHIMLAP JOINTS IN THE SEPTIC TANK SHALL BE SEALED WITH NEOPRENE GASKETS OR ASPHALT CEMENT.
- EXCAVATE ALL UNSUITABLE MATERIAL IN LEACHING AREA AND BACKFILL WITH CLEAN, GRANULAR SAND IN ACCORDANCE WITH 15.22B(3) OF TITLE V.
- THIS SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL UNIT.

BOARD OF HEALTH STAMPS

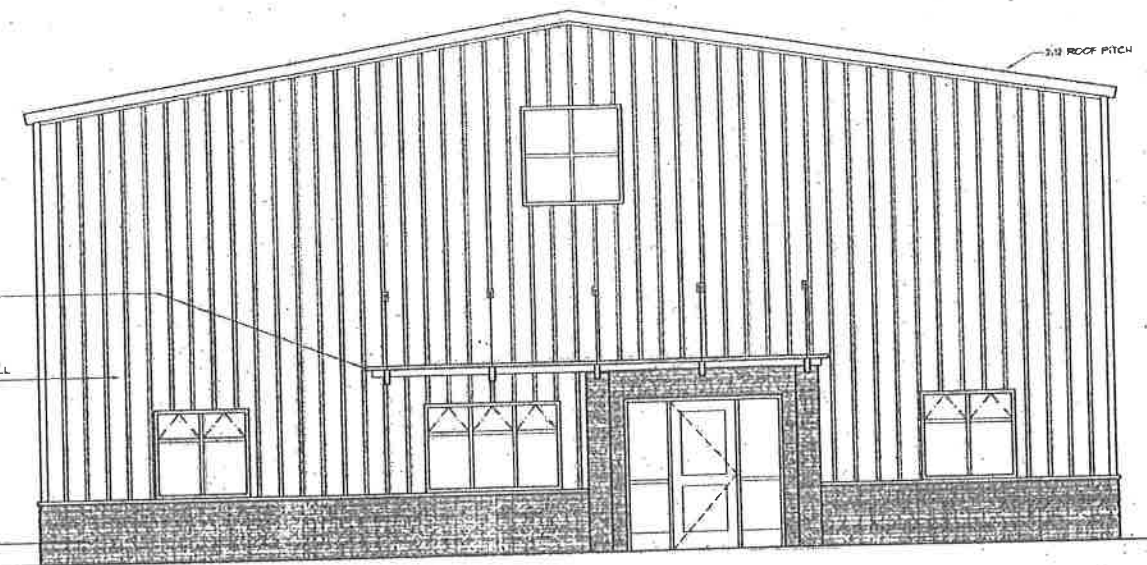


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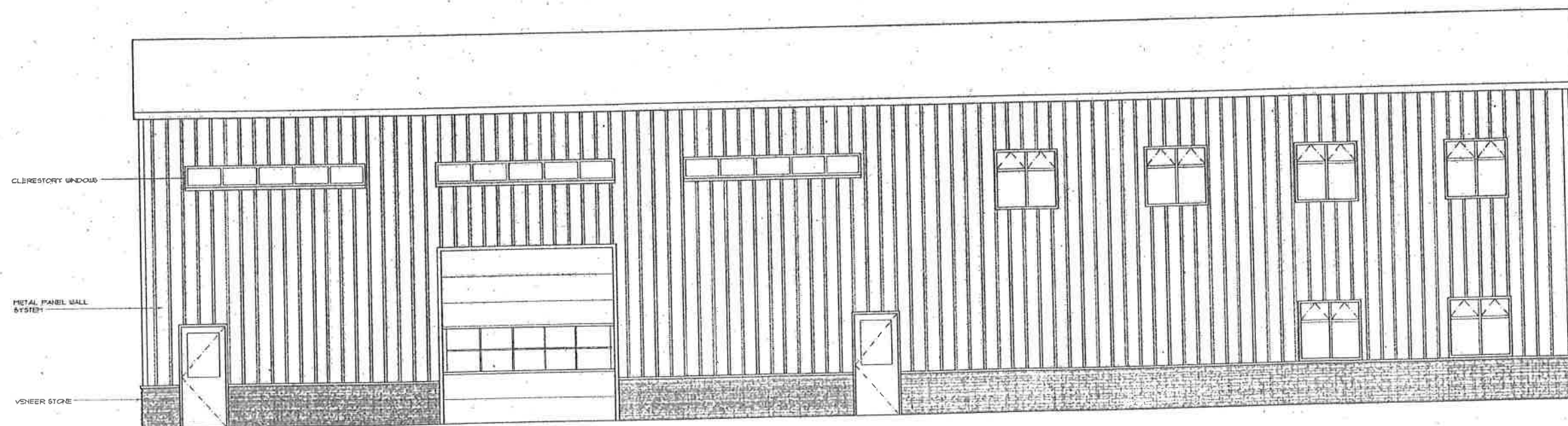
WEST ELEVATION - ALTERNATE
OPTION A - ALTERNATE

① 1/4" = 1'-0"



WEST ELEVATION
OPTION A

② 1/4" = 1'-0"

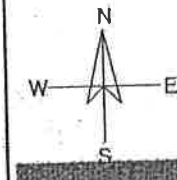


NORTH ELEVATION
OPTION A

③ 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401-861-7139
Fax: 401-861-7165



Proposed Plans:
**Coletta Office
Building**

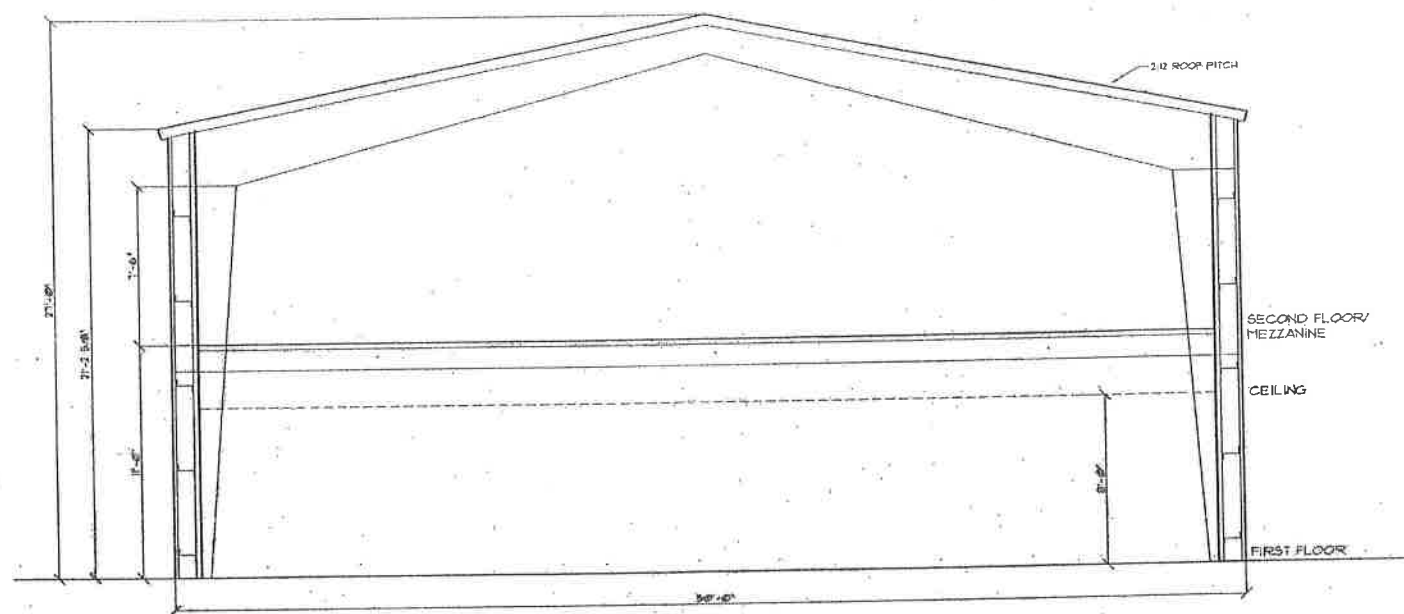
Hollister Road
Seekonk, MA

SHEET CONTENTS:

PROJECT # 5015

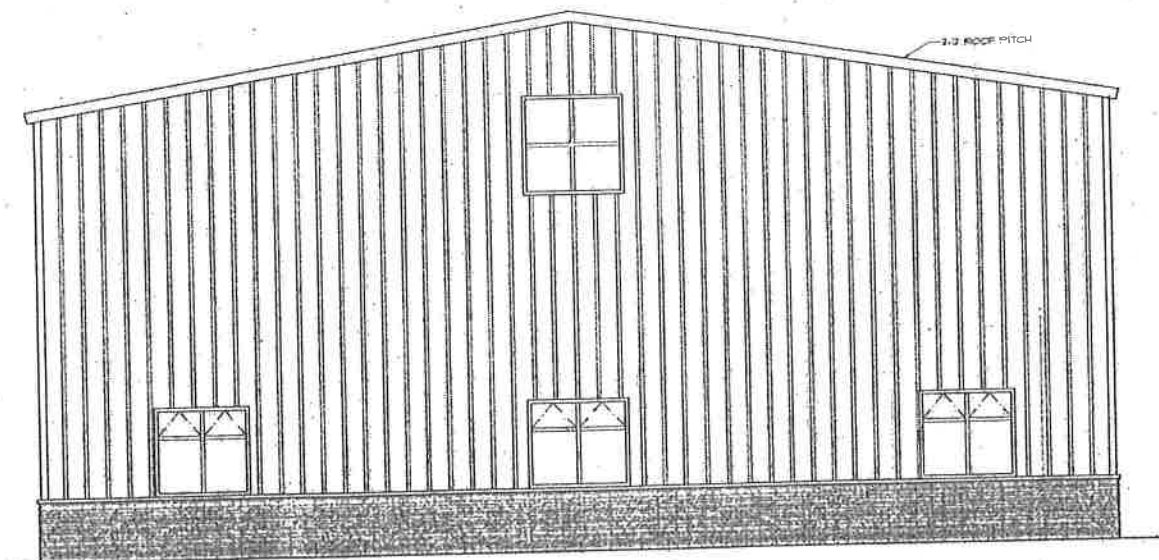
DATE: 11/20/2015
REVISED DATE:

A-3



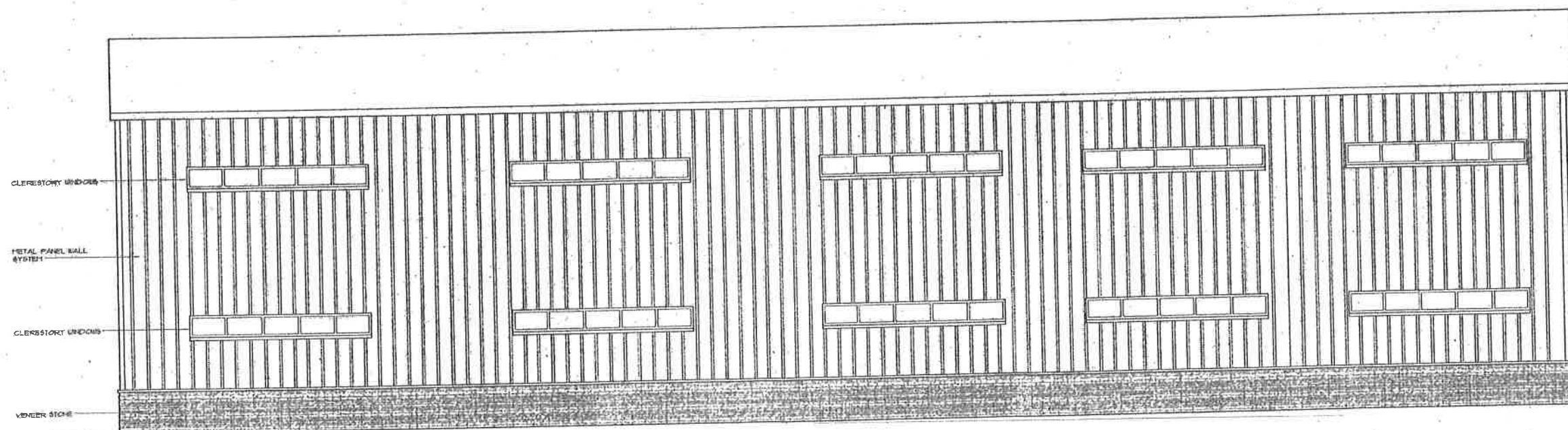
SECTION
OPTION A

① 1/4" = 1'-0"



EAST ELEVATION
OPTION A

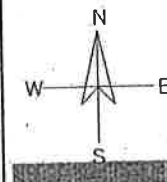
② 1/4" = 1'-0"



SOUTH ELEVATION
OPTION A

③ 1/4" = 1'-0"

Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401-861-7139
Fax: 401-861-7165



Proposed Plans:
**Coletta Office
Building**

Hollister Road
Seekonk, MA

SHEET CONTENTS:

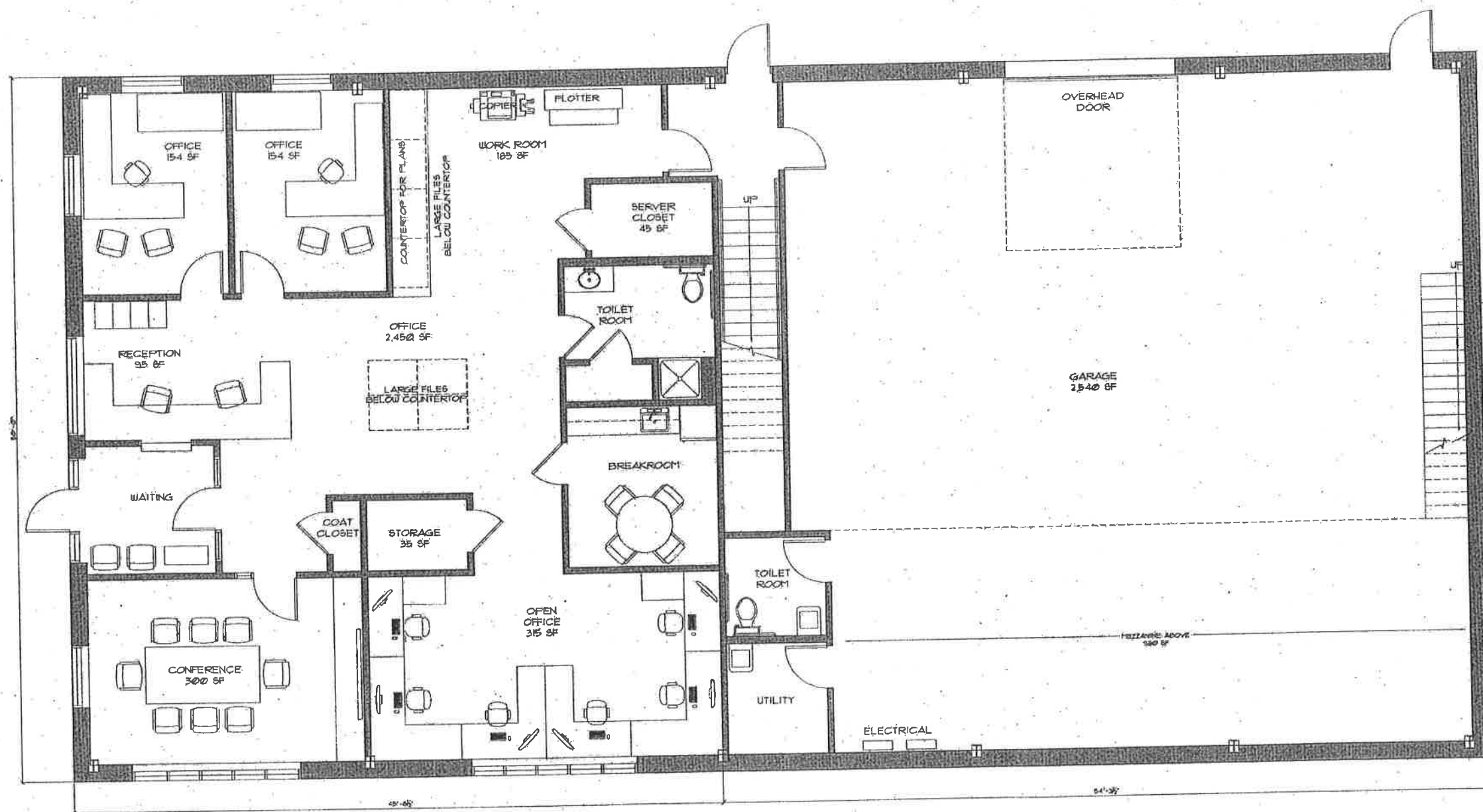
PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT # 5015

DATE: 11/20/2015

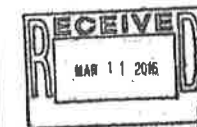
REVISED DATE:

A3.1



PROPOSED FIRST PLAN

1/4" = 1'-0"



SHEET CONTENTS:

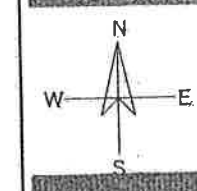
PROJECT # 5015

DATE: 11/20/2015
REVISED DATE:

A-1

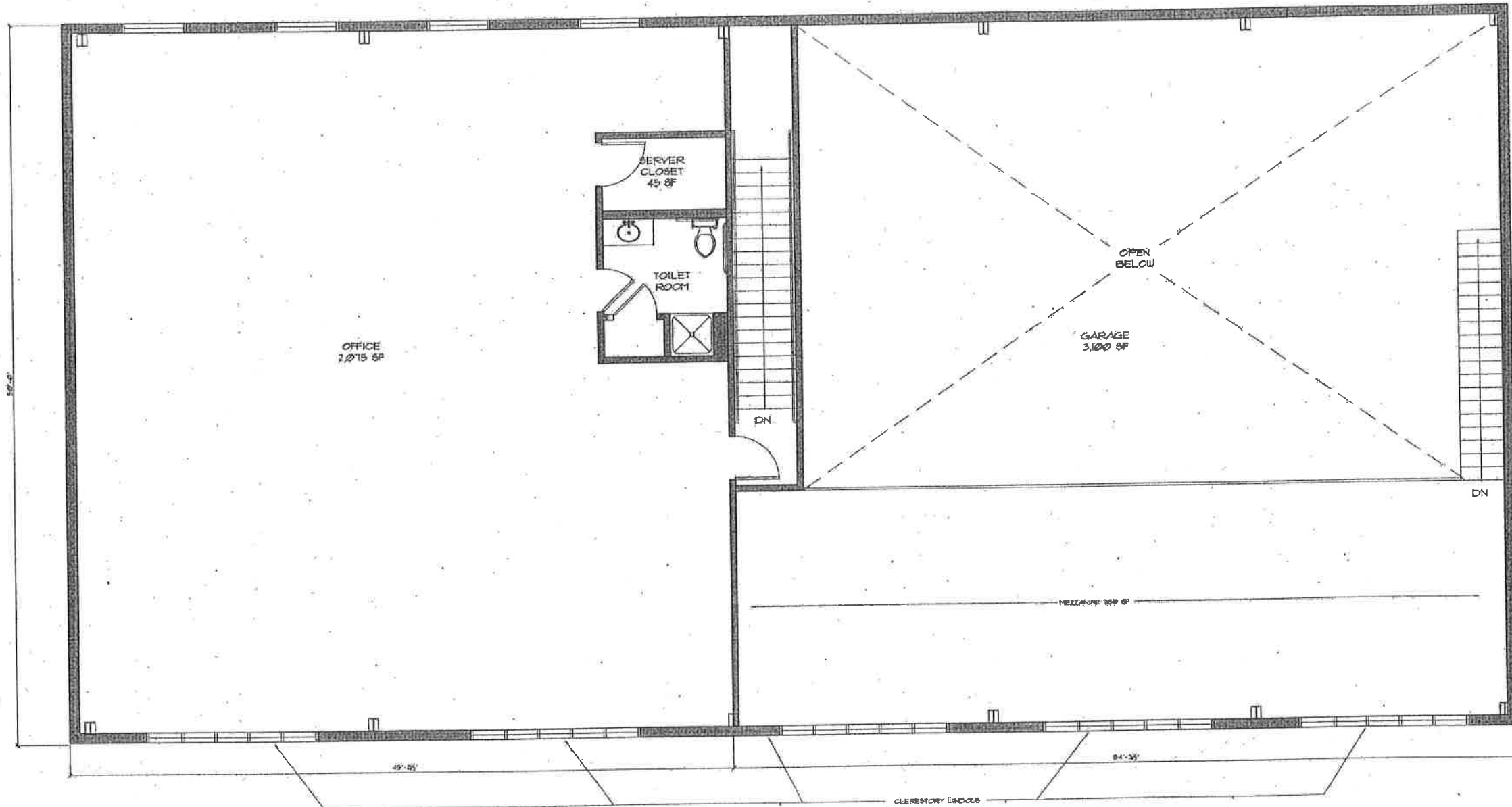
Proposed Plans:
Coletta Office Building

Hollister Road
Spartanburg, SC



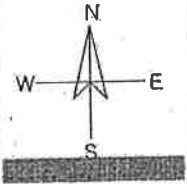
Ed Wojcik
architect, ltd
One Richmond Square
Providence, RI 02906
401-861-7139
Fax: 401-861-7165

PRELIMINARY - NOT FOR CONSTRUCTION



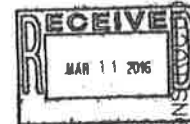
PROPOSED SECOND FLOOR PLAN

Ed Wojcik
architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 Fax: 401-861-7165



Proposed Plans:
Coletta Office Building
 Hollister Road
 Seekonk, MA

SHEET CONTENTS:



PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT # 5015
 DATE: 11/20/2015
 REVISED DATE:

A-2



Agenda Item: 3
Date: May 10, 2016

Planning Board

100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

TO: Planning Board
FROM: John J. Aubin III, Town Planner
RE: Site plan application for proposed cellular telecommunications tower and associated ground facilities at 1494 Fall River Avenue being AP 4, Lot 4 located in the R-3 and R-4 Zoning District and the Mixed Use Overlay District

APPLICATION FILED: April 29, 2016

APPLICANT: Cellco Partnership d/b/a Verizon Wireless

OWNER: Same

LOCATION: 1494 Fall River Avenue, AP 4, Lot 4

REQUESTED ACTION: Site plan review to construct 124' monopole telecommunication tower and 10' X14' ground equipment pad and associated site improvements on the subject parcel

APPLICABLE ZONING BY-LAW PROVISIONS:

1. **Section 2.8 Site Plan Review**
2. **Section 8 Development and Design Standards**

ANALYSIS:

The applicant is before the Planning Board for site plan review in accordance with **Section 2.8 Site Plan Review** of the **Town of Seekonk Zoning By-laws** seeking to construct a 124' cellular tower, 10' X 14' ground equipment pad and associated site improvements. The project has been reviewed and received approvals from the Zoning Board of Appeals regarding the special permit to allow the use and Conservation Commission regarding wetlands issues related to the project. The applicant has submitted the attached application and supporting documents related to the project including a list of specific waivers being requested (see STATEMENT IN SUPPORT OF SITE PLAN REVIEW APPLICATION).

The subject parcel is comprised of 9.2 acres of land split zoned between an R-3/ mixed use overlay district and R-4 zoning district. The site is currently developed with a religious use and the application seeks to site a cellular telecommunications facility to the rear of the existing building. A wetlands area dominates the rear portion of the subject lot. The surrounding area is comprised of high density commercial

development associated with the Route 6 corridor with some residential development along the corridor and to the northwest. Attached are copies of the Town's GIS aerial photos depicting the existing conditions on site and in the area.

The applicant is proposing to construct an approximately 46' X 46' enclosure on the subject parcel to contain the proposed cellular tower and ground equipment as shown on the submitted plans. The telecommunication enclosure is proposed to be access from the existing parking area on the site via 20' right of way and proposed gravel drive. Additionally a split rail fence along the rear of the existing parking area and additional utility poles are proposed outside the proposed enclosure.

The application was transmitted to the reviewing Town Departments upon receipt and will be reviewed by the Technical Review Committee on May 26, 2016. With regard to the requested waivers this office would note the previous reviews by the Zoning Board of Appeals and Conservation Commission and that the requested waivers are consistent with the nature and scale of the proposed development.

Should the Planning Board deem it appropriate to grant the requested site plan approval, it is respectfully requested that the Board make the follow findings of facts with regard to the proposed development based on the submitted application, supporting materials, and evidence presented by the applicant:

- Pursuant to **Section 2.8.5 Procedure** of the **Zoning By-laws** that the applicant has met the requirements for the grant of a Certificate of Approval for the proposed Site Plan.
- That the submitted site plan meets the requirements of **Section 8 Development and Design Standards** of the **Zoning By-laws**

The Office of Planning and Zoning would respectfully recommend the Planning Board consider the following conditions on any approval it may deem appropriate to grant relative to the subject application:

1. Resolution of any outstanding comments generated by the staff and submission of a final plan addressing all issues generated by the staff review of the application.
2. Such other conditions as the Planning Board deems appropriate to ensure that the proposed development meets the required site plan design standards as set forth in the **Town of Seekonk Zoning by-laws**.

1494 Fall River Avenue - Area View



Property Information

Property ID 265/004.0-0000-0004.0
Location 1494 FALL RIVER AVE
Owner



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Seekonk, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 5/1/2015
 Properties updated 1/1/2015

1494 Fall River Avenue Existing conditions



Property Information

Property ID: 265/001.0-0000-0126.0
 Location: 0 HOLLISTER RD
 Owner:



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town of Seekonk, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 5/1/2015
 Properties updated 1/1/2015



Zoning Board of Appeals
100 PECK STREET
SEEKONK, MASSACHUSETTS
508-336-2961

DECISION

Owner: Christian Assembly Church
1494 Fall River Avenue
Seekonk, MA 02771

BK: 17481 PG: 181

By: Verizon Wireless
c/o Michael Giamio, Robinson & Cole LLP
One Boston Place, 25th floor
Boston, MA 02180

LOCATION: 1494 Fall River Avenue
Seekonk, MA
Plat 4 Lot 4
R-4/R-3 Zone, containing 400,752 sq ft.
Case No. 2015-07

In accordance with the provisions of the General Laws, the Zoning Ordinance, Seekonk Zoning By-Laws, and rules of the Board, the Clerk notified the public and other parties of interest of a public hearing to be held on said petition in the TOWN HALL on **Monday, June 22, 2015**, by causing a notice thereof to be published on **Monday, June 8, 2015 and Monday, June 15, 2015** in the Sun Chronicle and by mailing a copy of said notice on **June 2, 2015** to persons owning real estate within 300 feet in any direction from the property involved, as shown by the most recent list of the Board of Assessor's office of said Seekonk.

Pursuant to such advertisement and notice, the Board held a public hearing on **Monday, June 22, 2015**.

2015-07 Christian Assembly Church, 1494 Fall River Avenue, Seekonk, MA 02771, Owner, by Bell Atlantic Mobile of Massachusetts Corporation Ltd., d/b/a Verizon Wireless, c/o Michael Giamio, Robinson & Cole LLP, One Boston Place, 25th Floor, Boston, MA 02108, Petitioner, requesting an appeal of the Zoning Enforcement Officer's Decision, and if necessary, **Variance** under Section 6.7 (Formerly Section 9.7) of the Town of Seekonk Zoning Bylaws for use and height to allow the construction and operation of a wireless telecommunications facility at 1494 Fall River Ave., Plat 4, Lot 4 in an R-3/R-4 Zone containing 400,752 sq ft.

MAJORITY FINDINGS:

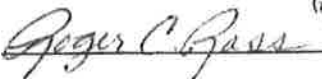
1. That Michael Giamio, the Attorney representing Verizon Wireless, requested an appeal of the Zoning Enforcement Officer's Decision, and if necessary, a **Variance** under Section 6.7 (Formerly Section 9.7) of the Town of Seekonk Zoning Bylaws for use and height to allow the construction and operation of a wireless telecommunications facility at 1494 Fall River Ave., Plat 4, Lot 4 in an R-3/R-4 Zone containing 400,752 sq ft.
2. That Section 6.7 of the Town of Seekonk Zoning Bylaws allows for a Telecommunication Facilities Overlay District (TFOD) consisting of all lands zoned as Industry or Highway Business "for the purpose

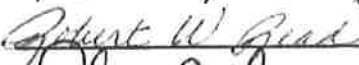
of permitting telecommunication facilities in specific areas of Seekonk, in order to minimize visual impacts from such towers and facilities on the Town's rural, residential and village areas."

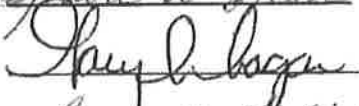
3. That Attorney Giaimo stated that Verizon Wireless has a substantial gap in coverage in the southern part of Seekonk and although the town has the TFOD, the gap would not be covered by a facility located on property within the TFOD.
4. That Attorney Giaimo advised the Board that the proposed 130 foot monopole would contain three (3) arrays of four (4) panel antennas each with the capacity to accommodate two additional sets of antenna arrays for potential co-location by up to two other wireless providers. The facility would include a 12' x 26' equipment shelter within a 50' x 50' fenced enclosure. The proposed 130' monopole would be located approximately 180' from the nearest property line to the east.
5. That Mr. Keith Vellante, radio engineer of C-Squared Systems, LLC, also representing Verizon Wireless advised the Board that he searched many locations along Fall River Avenue that could close the coverage gap and the *Christian Assembly Church* was the only location among the identified locations that would adequately meet Verizon's coverage needs and requirements that would be willing to accommodate the proposed telecommunications facility.
6. That in a letter dated June 5, 2015, Christopher A. Campbell, Director of Communications for the Town of Seekonk Public Safety, advised the ZBA that "the current public safety radio systems in the town of Seekonk have a severe coverage issue within the southern end of the community. This issue poses an increased danger to the town's first responders and makes emergency radio communications between the telecommunicators of the Communications Department and the member of the town's Police and Fire Departments difficult". Mr. Campbell requested that the ZBA reach out to Verizon Wireless to see if they would be willing to allow the Town of Seekonk to co-locate antennas or microwave based radios systems on the monopole.
7. That Attorney Giaimo stated that Verizon Wireless would be willing to work with the Public Safety Communications Department to help the Town fill the 911 gap in coverage
8. Attorney Giaimo stated that it was his position that the usual statutory standards imposed on Zoning Boards of Review by Massachusetts General Laws, c. 40A were pre-empted by the federal Telecommunications Act of 1986. Therefore, Verizon Wireless was held to a lower standard than required by state law.
9. Reverend John Amaral, senior pastor of *Christian Assembly Church* spoke in favor of the petition stating that the income realized by the church would assist in community and other works the church undertakes.
10. Donald Haes, Ph. D. testified on behalf of the Petitioner. After stating his qualifications on the resume and submitting his *curriculum vitae* for the record, Dr. Haes stated that, in his opinion, any additional radio-frequency fields generated as a result of the construction of the proposed monopole and associated equipment would be significantly below the maximum standards established by the Federal Communications Commission. In his further opinion, as many as 1,000 identical facilities could be established as the site and still be within FCC limitations.
11. Sean Mahoney, of Vital Site Services, testified that he was a real estate contractor hired by Verizon to determine all sites for the proposed project, limited only by the technical requirements established by Verizon or Verizon's engineering contractors.
12. That Janet Parker and Beverly Hart voiced concern that there is an existing TFOD within 1/2 to 3/4 mile away from the proposed location and that the TFOD was put in place to minimize the impact on residents.


In response to a question by a Board member, Mrs. Parker stated that although she is employed by the Town of Seekonk, she was testifying only as a resident and citizen of the town and not for or on behalf of the town.

13. That the Board voted **5 in favor** and **0 opposed** to uphold the decision of the Building Inspector.
14. That with five (5) members present and voting, and based upon all the testimony and other evidence presented and consideration thereof, it was voted **4 in favor** and **1 opposed** to grant the Variance as presented upon the condition that appropriate representatives of Verizon Wireless will meet with parties of the Town of Seekonk Communications Department in an effort to work out contractual and financial agreements to allow the Town to on the monopole to enhance the emergency system.

 ^{by direction} **Roger C. Ross, Esq., Vice Chairman**


 ^{by direction} **Robert W. Read**

 **Gary S. Sagar**

 ^{by direction} **Shane J. Halajko**

MINORITY FINDINGS:

1. That Verizon Wireless did not provide evidence that the gap in coverage could not be filled by locating the monopole within the Overlay District

 ^{by direction} **Keith W. Rondeau**

That the Petitioner shall receive approval from all the Town's regulatory Boards and Commissions and Public Safety Departments as applicable.

That the **Variance** shall not take effect until it has been recorded in the Registry of Deeds for Bristol County.

That appeals, if any, of this Decision shall be made pursuant to section seventeen [of General Laws chapter 40A] and shall be filed within twenty days after the date of filing of such notice in the office of the Town Clerk.

verizon

SEEKONK 5

1494 FALL RIVER AVENUE
SEEKONK, MA

verizon
400 FRIBERG PARKWAY
WESTBOROUGH, MA
01581

JACOBS
JACOBS ENGINEERING GROUP, INC.
343 CONGRESS STREET
5TH FLOOR
BOSTON, MA 02210
TEL (617) 242-9222
FAX (617) 242-9824



APPROVALS

LANDLORD _____

LEASING _____

R.F. _____

ZONING _____

CONSTRUCTION _____

A & E _____

PROJECT NO: E2X30107

DRAWN BY: GPN

CHECKED BY: PLB

SUBMITTALS

7	04/19/16	REMOVED OLD COMPOUND
6	03/21/16	CONS COMM NOTES
5	01/25/16	WETLAND W/ MITIGATION
4	12/09/15	STORMWTR MGMT DETAILS
3	12/01/15	WETLAND BUFFERS
2	10/15/15	COMPOUND SHIFT
1	09/24/15	COMPOUND REVISED

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SEEKONK 5

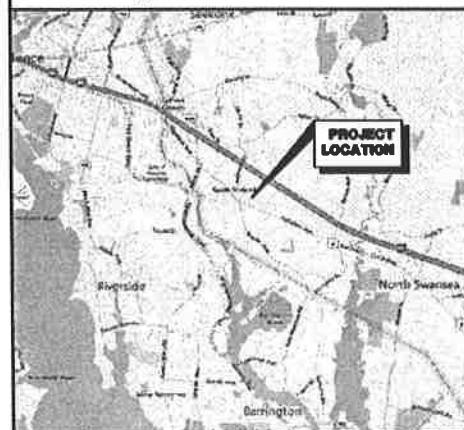
1494 FALL RIVER AVENUE
SEEKONK, MA

TITLE
SHEET

T-1
CONSTRUCTION

VICINITY MAP

NOT TO SCALE



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE LESSEE/LICENSEE REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CONSULTANT TEAM

APPLICANT: CELCO PARTNERSHIP
D/B/A/ VERIZON WIRELESS
400 FRIBURG PKWY
WESTBOROUGH, MA 01581

ARCHITECT: JACOBS ENGINEERING GROUP, INC.
343 CONGRESS STREET
BOSTON, MA 02210

STRUCTURAL ENGINEER: JACOBS ENGINEERING GROUP, INC.
343 CONGRESS STREET
BOSTON, MA 02210

ELECTRICAL ENGINEER: JACOBS ENGINEERING GROUP, INC.
343 CONGRESS STREET
BOSTON, MA 02210

PROJECT SUMMARY

SITE NAME: SEEKONK 5

COORDINATES: N 41° 47' 16.65"
W 71° 18' 52.79"

GROUND ELEVATION: 28'-6"

ASSESSOR'S PARCEL ID.: 265/004.0-0000-0004.0

CONSTRUCTION TYPE: RAW LAND

PROPERTY OWNER: CHRISTIAN ASSEMBLY
1494 FALL RIVER AVE.
SEEKONK, MA 02771

APPLICANT: CELCO PARTNERSHIP
D/B/A/ VERIZON WIRELESS
400 FRIBURG PKWY
WESTBOROUGH, MA 01581

PROJECT DIRECTORY

SITE ADDRESS: 1494 FALL RIVER AVENUE
SEEKONK, MA 02771

ZONING DISTRICT: RESIDENTIAL - 4

PROJECT DESCRIPTION

THE SITE WILL CONSIST OF CONSTRUCTING A NEW 127' MONOPOLE TOWER AND A 10'X14' EQUIPMENT CONCRETE SLAB INSTALLED WITHIN A FENCED COMPOUND. A NEW ACCESS ROAD AND OVERHEAD UTILITIES WILL BE EXTENDED FROM FALL RIVER AVENUE.

THIS DOCUMENT WAS DEVELOPED TO REFLECT A SPECIFIC SITE AND ITS SITE CONDITIONS AND IS NOT TO BE USED FOR ANOTHER SITE OR WHEN CONDITIONS PERTAIN. REUSE OF THIS DOCUMENT IS AT THE SOLE RISK OF THE USER.

A.D.A. COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION

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RECEIVED APR 29 2016

GENERAL NOTES

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)
OWNER - VERIZON WIRELESS
OEM - ORIGINAL EQUIPMENT MANUFACTURER
- FOR THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF VERIZON WIRELESS.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- DRAWINGS PROVIDED HERE ARE NOT SCALE UNLESS OTHERWISE NOTED AND ARE INTENDED TO SHOW OUTLINE ONLY.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AT INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY VERIZON WIRELESS.
- THE CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWINGS. CONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. CONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH VERIZON WIRELESS.
- THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNA REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
- THE CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL NOTIFY JACOBS 48 HOURS IN ADVANCE OF POURING CONCRETE, OR BACKFILLING TRENCHES, SEALING ROOF AND WALL PENETRATIONS AND POST DOWNS, FINISHING NEW WALLS OR FINAL ELECTRICAL CONNECTIONS FOR ENGINEER REVIEW.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY VERIZON WIRELESS OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY THE CONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH VERIZON WIRELESS. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
- SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.

SITE WORK GENERAL NOTES

- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDED BUT NOT BE LIMITED TO:
A. FALL PROTECTION
B. CONFINED SPACE
C. ELECTRICAL SAFETY
D. TRENCHING AND EXCAVATION
- ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES, TO SOIL AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
- THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE VERIZON WIRELESS SPECIFICATION FOR SITE SIGNAGE.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FORM THE TRANSMISSION EQUIPMENT AND TOWER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION, SEE SOIL COMPACTION NOTES.
- THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
- EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL JURISDICTION'S GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

CONCRETE AND REINFORCING STEEL NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM 185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. A HIGHER STRENGTH (5000 PSI) MAY BE USED. ALL CONCRETING WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNLESS NOTED OTHERWISE.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS NOTED OTHERWISE ON THE DRAWINGS:
CONCRETE CAST AGAINST EARTH 3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 AND LARGER 2 IN.
#5 AND SMALLER & WWF 1 1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER
OR NOT CAST AGAINST THE GROUND:
SLAB AND WALL 3/4 IN.
BEAMS AND COLUMNS 1 1/2 IN.
- A CHAMFER OF 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.
- CONCRETE CYLINDER TEST IS NOT REQUIRED FOR SLAB ON GRADE WHEN CONCRETE IS LESS THAN 50 CUBIC YARDS (IBC 1905.6.2.3) IN THAT EVENT THE FOLLOWING RECORDS SHALL BE PROVIDED BY THE CONCRETE SUPPLIER:
A. RESULTS OF CONCRETE CYLINDER TESTS PERFORMED AT THE SUPPLIER'S PLANT.
B. CERTIFICATION OF MINIMUM COMPRESSIVE STRENGTH FOR THE CONCRETE GRADE SUPPLIED. FOR GREATER THAN 50 CUBIC YARDS THE GENERAL CONTRACTOR SHALL PERFORM THE CONCRETE CYLINDER TEST.
- AS AN ALTERNATIVE TO ITEM 7, TEST CYLINDERS SHALL BE TAKEN INITIALLY AND THEREAFTER FOR EVERY 50 CUBIC YARDS OF CONCRETE FROM EACH DIFFERENT BATCH PLANT.
- EQUIPMENT SHALL NOT BE PLACED ON NEW PADS FOR SEVEN DAYS AFTER PAD IS POURED, UNLESS IT IS VERIFIED BY CYLINDER TESTS THAT COMPRESSIVE STRENGTH HAS BEEN ATTAINED.

STRUCTURAL STEEL NOTES

- ALL STEEL WORK SHALL BE PAINTED OR GALVANIZED IN ACCORDANCE WITH THE DRAWINGS UNLESS NOTED OTHERWISE. STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS NOTED OTHERWISE ON THE SITE SPECIFIC DRAWINGS. STEEL DESIGN, INSTALLATION AND BOLTING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "MANUAL OF STEEL CONSTRUCTION".
- ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC, WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION".
- BOLTED CONNECTIONS SHALL BE ASTM A325 BEARING TYPE (3/4") CONNECTIONS AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW AND APPROVAL ON PROJECTS REQUIRING STRUCTURAL STEEL.
- ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH ISC SPECIFICATIONS.

SOIL COMPACTION NOTES FOR SLAB ON GRADE NOTES

- EXCAVATE AS REQUIRED TO REMOVE VEGETATION AND TOPSOIL, EXPOSE UNDISTURBED NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
- COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE.
- AS AN ALTERNATIVE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 90% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
- COMPACTED SUBBASE SHALL BE UNIFORM AND LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100% PASSING 1" SIEVE.
- AS AN ALTERNATIVE TO ITEMS 2 AND 3 PROOFROLL THE SUBGRADE SOILS WITH 5 PASSES OF A MEDIUM SIZED VIBRATORY PLATE COMPACTOR (SUCH AS BOMAG BPR 30/38) OR HAND-OPERATED SINGLE DRUM VIBRATORY ROLLER (SUCH AS BOMAG BW 55E). ANY SOFT AREAS THAT ARE ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH A WELL-GRADED GRANULAR FILL, AND COMPACTED AS STATED ABOVE.

COMPACTION EQUIPMENT NOTES

- HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, VIBRATORY PLATE COMPACTOR OR JUMPING JACK COMPACTOR.

CONSTRUCTION NOTES

- FIELD VERIFICATION:
THE CONTRACTOR SHALL FIELD VERIFY SCOPE OF WORK. VERIZON WIRELESS ANTENNA PLATFORM LOCATION AND ANTENNAS TO BE REPLACED.
- COORDINATION OF WORK:
THE CONTRACTOR SHALL COORDINATE RF WORK AND PROCEDURES WITH VERIZON WIRELESS.
- CABLE LADDER RACK:
THE CONTRACTOR SHALL FURNISH AND INSTALL CABLE LADDER RACK, CABLE TRAY, AND CONDUIT AS REQUIRED TO SUPPORT CABLES TO THE NEW BTS LOCATION.

ELECTRICAL INSTALLATION NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- THE CONTRACTOR SHALL MODIFY EXISTING CABLE TRAY SYSTEM AS REQUIRED TO SUPPORT RF AND TRANSPORT CABLEING TO THE NEW BTS EQUIPMENT. THE CONTRACTOR SHALL SUBMIT MODIFICATIONS TO VERIZON WIRELESS FOR APPROVAL.
- CONDUIT ROUTINGS ARE SCHEMATIC. THE CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E. HOTS), GROUNDING, AND 51 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM TO WITH NEC AND OSHA, AND MATCH EXISTING INSTALLATION REQUIREMENTS.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (SIZE 14 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET OR DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS NOTED OTHERWISE.
- POWER PHASE CONDUCTORS (I.E., HOTS) SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). PHASE CONDUCTOR COLOR CODES SHALL CONFORM TO NEC AND OSHA, AND MATCH EXISTING INSTALLATION REQUIREMENTS.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (SIZE 6 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET OR DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED OUTDOORS, OR BELOW GRADE, SHALL BE SINGLE CONDUCTOR #2 AWG SOLID TINNED COPPER CABLE, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (SIZE 14 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET OR DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NOT LESS THAN 75°C (90° C IF AVAILABLE).
- RACEWAYS AND CABLE TRAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- NEW RACEWAYS AND CABLE TRAYS WILL MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NON-METALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NON-METALLIC TUBING (ENT), OR RIGID NON-METALLIC CONDUIT (RIGID PVC SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- RIGID NON-METALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOOR AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION WHERE USED.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- CABINETS, BOXES, AND WIREWAYS TO MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PAINTED TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NON-METALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FORM VERIZON WIRELESS BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.

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APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A & E _____

PROJECT NO: E2X30107

DRAWN BY: GPN

CHECKED BY: PLB

SUBMITTALS

7	04/19/16	REMOVED OLD COMPOUND
6	03/21/16	CONS COMM NOTES
5	01/25/16	WETLAND W/ MITIGATION
4	12/09/15	STRMTR MGMT DETAILS
3	12/01/15	WETLAND BUFFERS
2	10/15/15	COMPOUND SHIFT
1	09/24/15	COMPOUND REVISED

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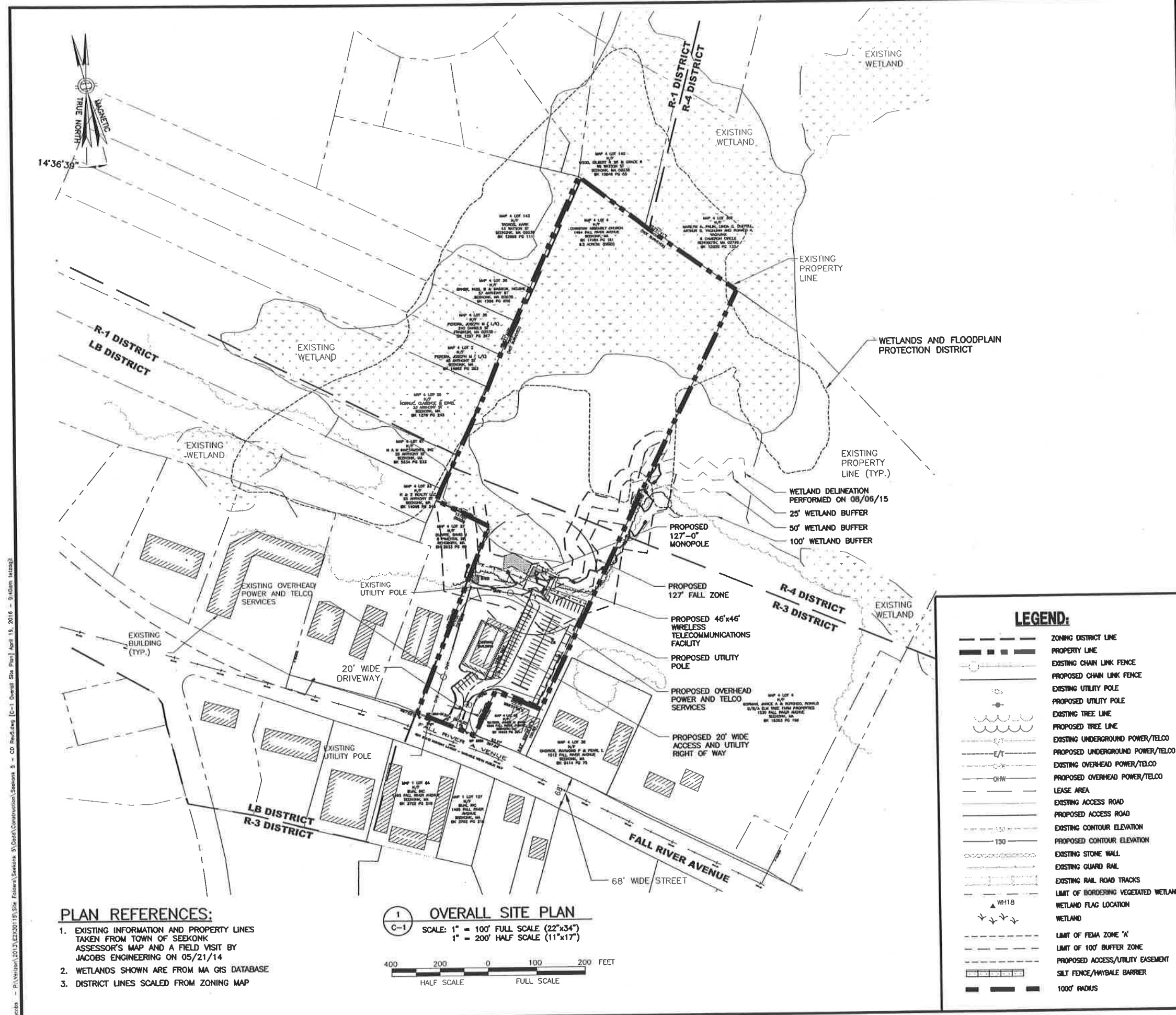
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GENERAL NOTES

G-1
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LOCATION PLAN

C-2

CONSTRUCTION

1
C-2

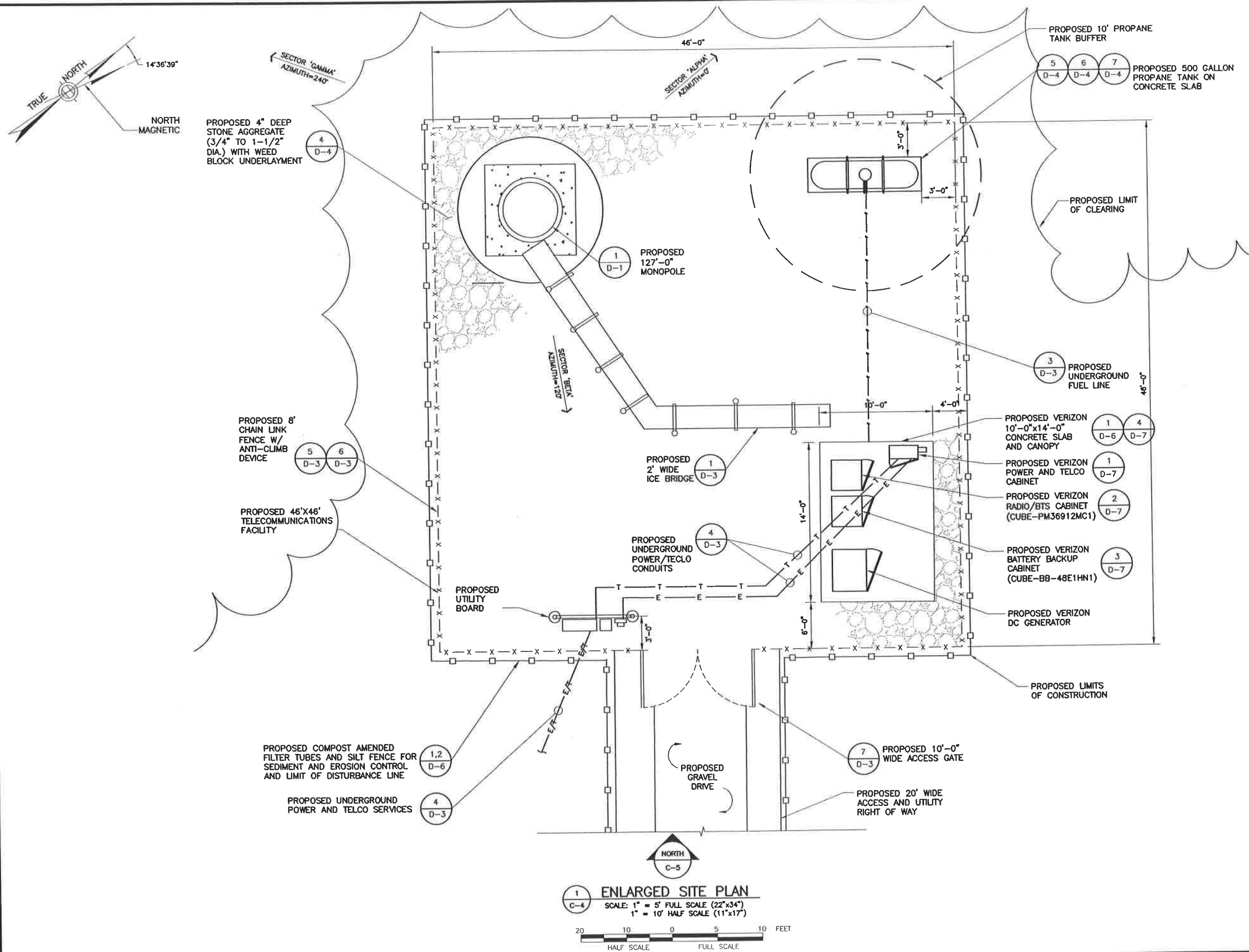
LOCATION PLAN

SCALE: 1" = 600' FULL SCALE (22"x34")
1" = 1200' HALF SCALE (11"x17")



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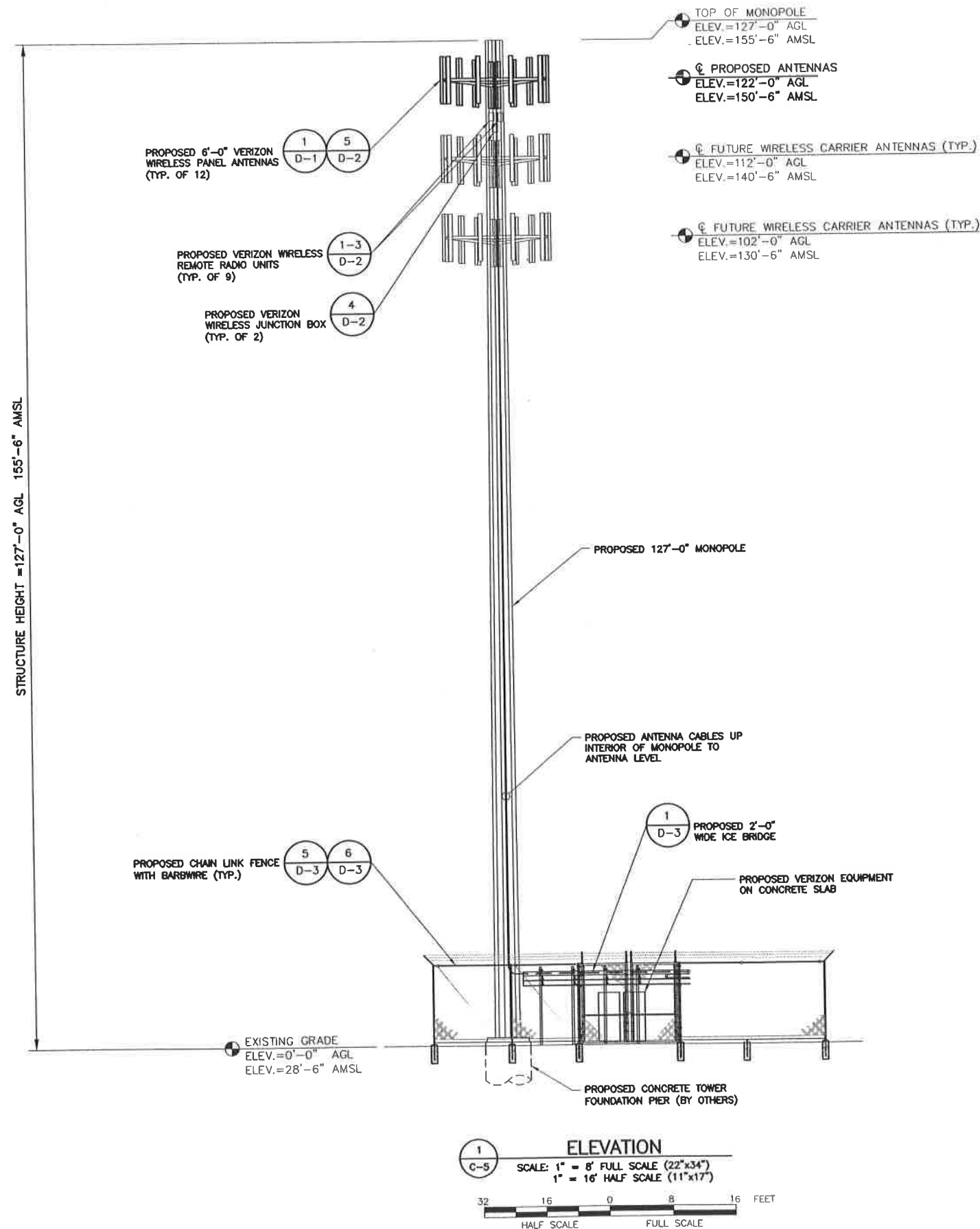
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ENLARGED SITE PLAN

C-4
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ELEVATION

C-5
CONSTRUCTION

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1
D-1

ANTENNA MOUNTING DETAIL

NOT TO SCALE

- NOTES:**
1. SECURE CABLES TO GRATING WITH TIE WRAPS AT 3'-0" O.C.
 2. PROVIDE KELLOMS GRIP AROUND CABLES AND FASTEN TO EXISTING J-HOOKS INSIDE MONOPOLE.

2
D-1

ANTENNA MOUNTING DETAIL

NOT TO SCALE

4
D-1

PLAN VIEW

NOT TO SCALE

RRH & JUNCTION BOX PLAN
NOT TO SCALE

5 GPS ANTENNA MOUNTING DETAILS
D-1 NOT TO SCALE

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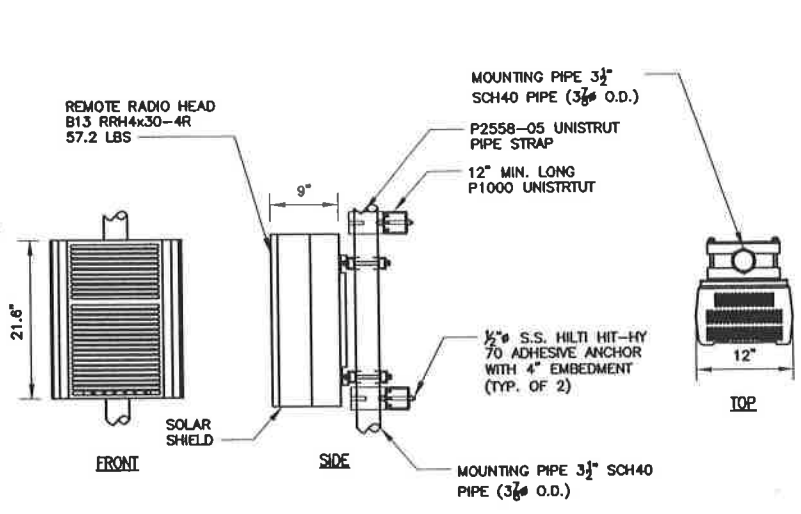
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ANTENNA MOUNTING DETAILS

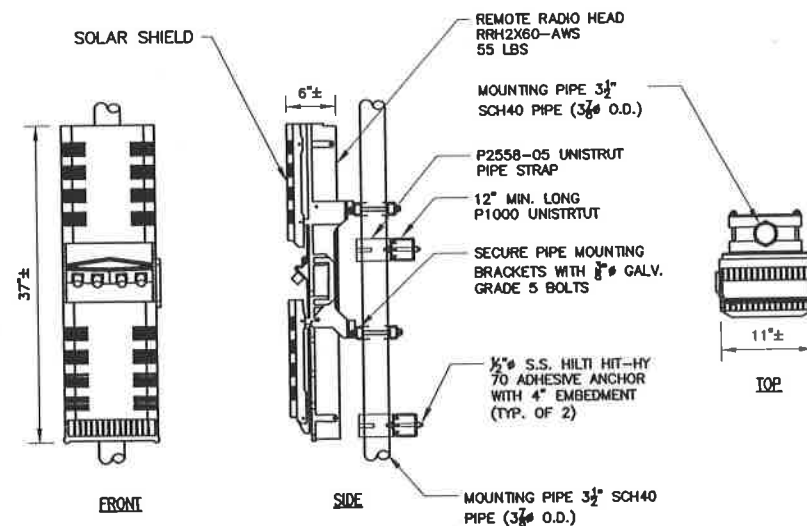
D-1

CONSTRUCTION

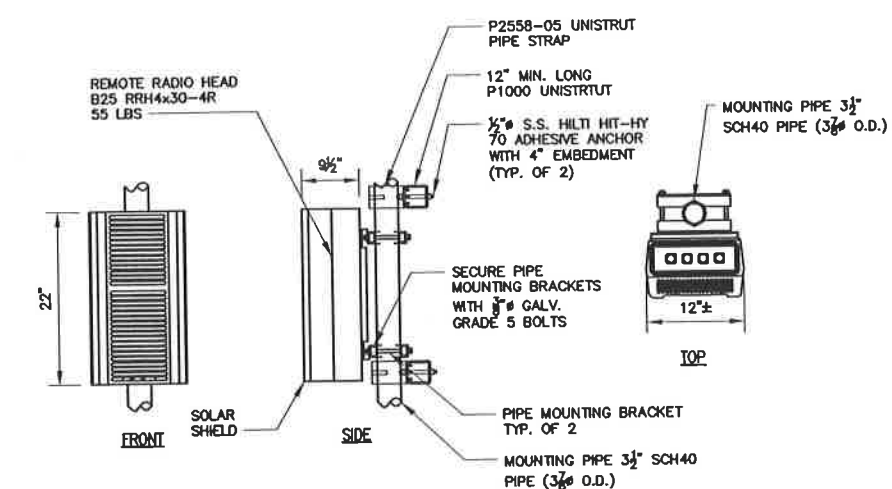
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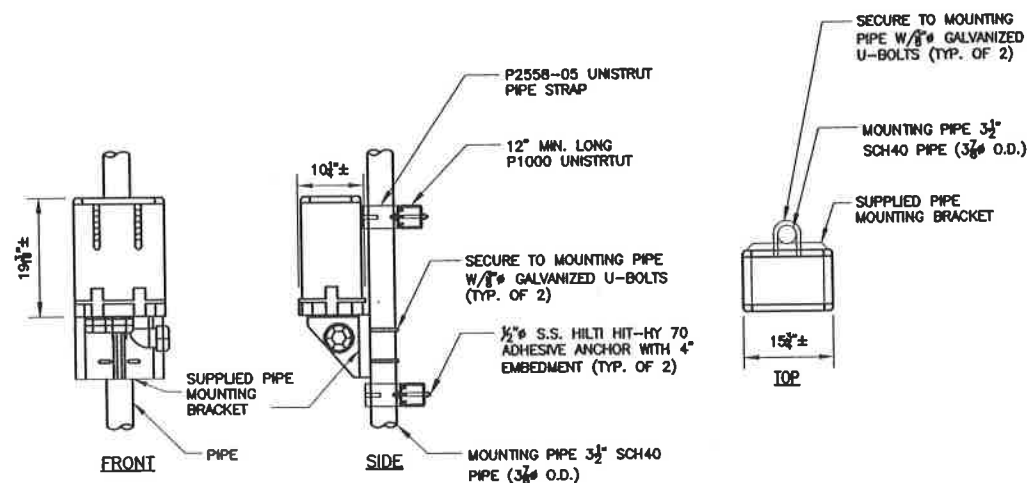
1 ALCATEL LUCENT (ALU) LTE 700 B13RRH4x30-4R
D-2
SCALE: 1" = 1' FULL SCALE (22"x34")
1" = 2' HALF SCALE (11"x17")



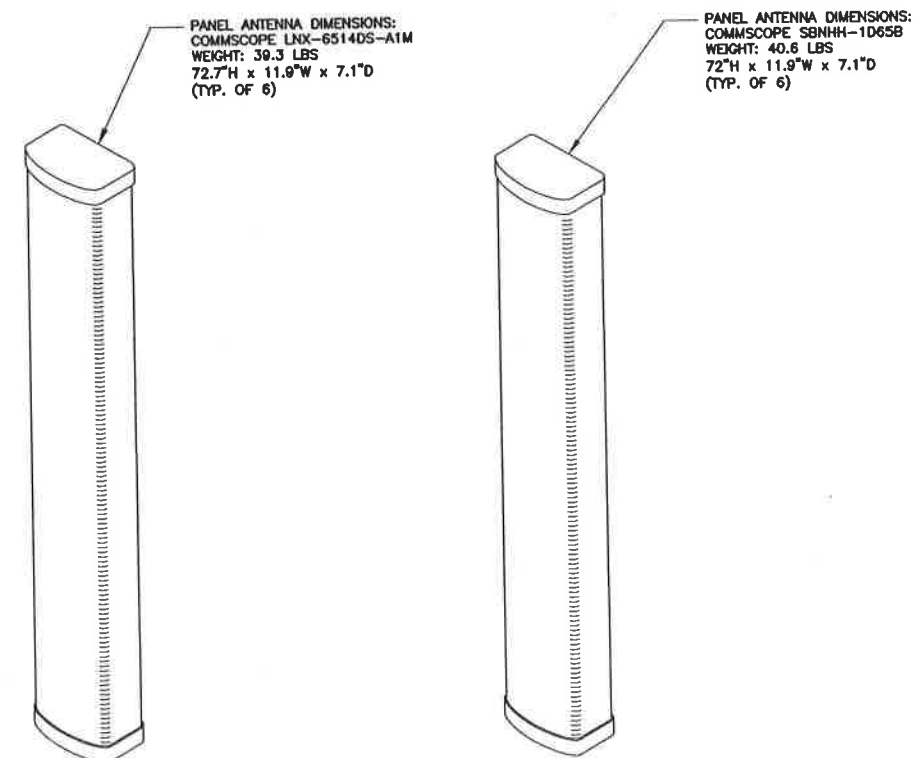
2 ALCATEL LUCENT (ALU) LTE 2100 RRH2x60-AWS
D-2
SCALE: 1" = 1' FULL SCALE (22"x34")
1" = 2' HALF SCALE (11"x17")



3 ALCATEL LUCENT (ALU) LTE 1900 B25 RRH4x30-4R
D-2
SCALE: 1" = 1' FULL SCALE (22"x34")
1" = 2' HALF SCALE (11"x17")



4 RAYCAP DB-B1-6C-12AB-0Z JUNCTION BOX
D-2
SCALE: 1" = 1' FULL SCALE (22"x34")
1" = 2' HALF SCALE (11"x17")



5 ANTENNA DETAILS
D-2
SCALE: 1" = 1' FULL SCALE (22"x34")
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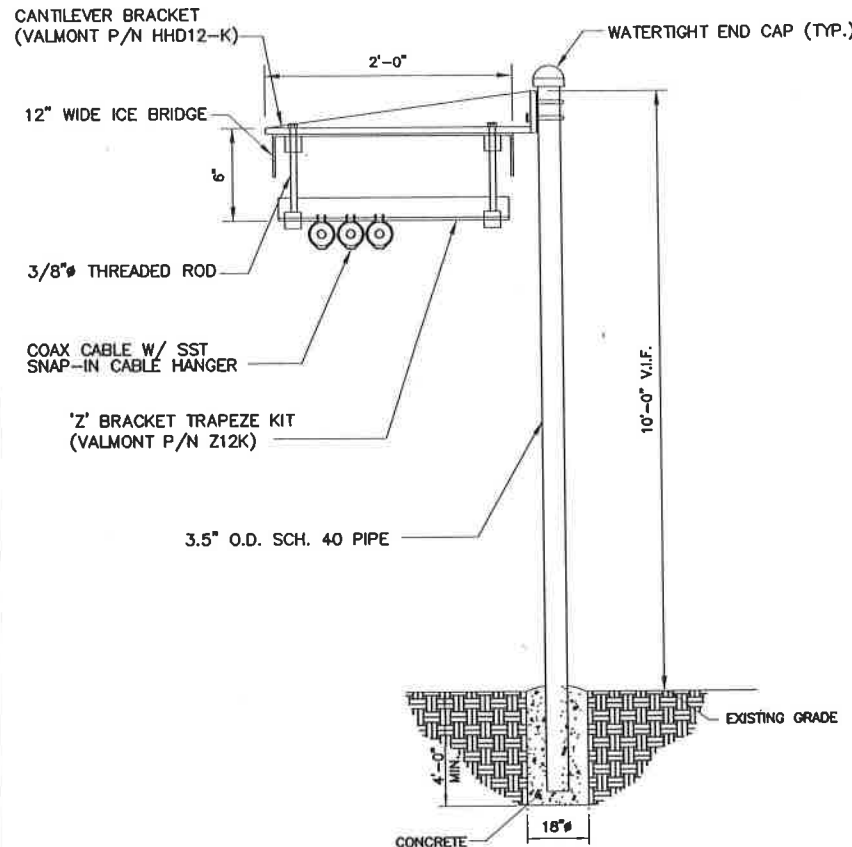
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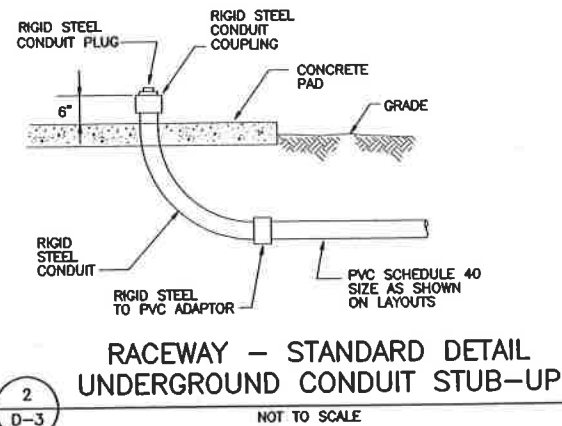
ANTENNA & JUNCTION BOX DETAILS

D-2
CONSTRUCTION

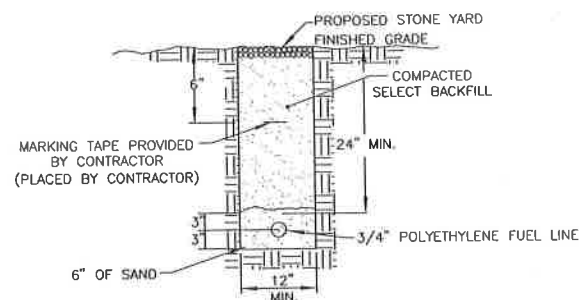
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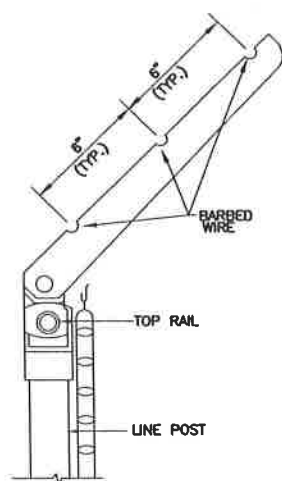
1 ICE BRIDGE DETAIL
D-3 NOT TO SCALE



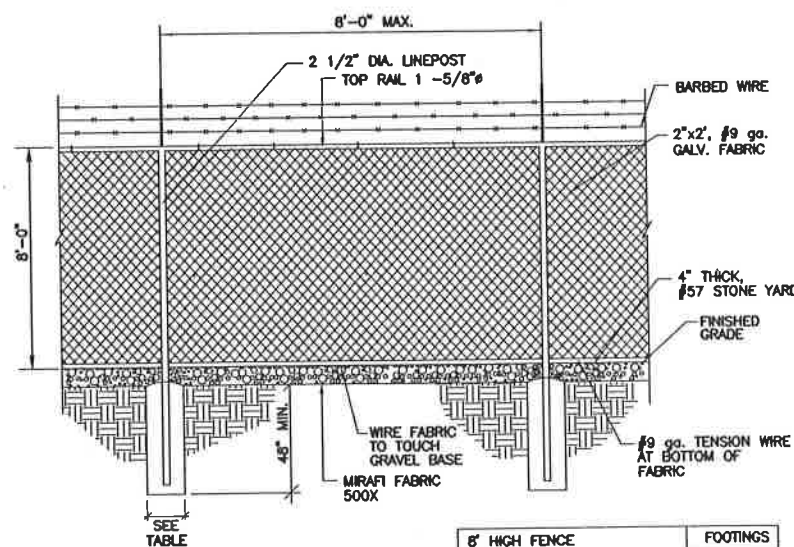
2 RACEWAY - STANDARD DETAIL
D-3 NOT TO SCALE



3 TRENCH FOR UNDERGROUND FUEL LINE
D-3 NOT TO SCALE



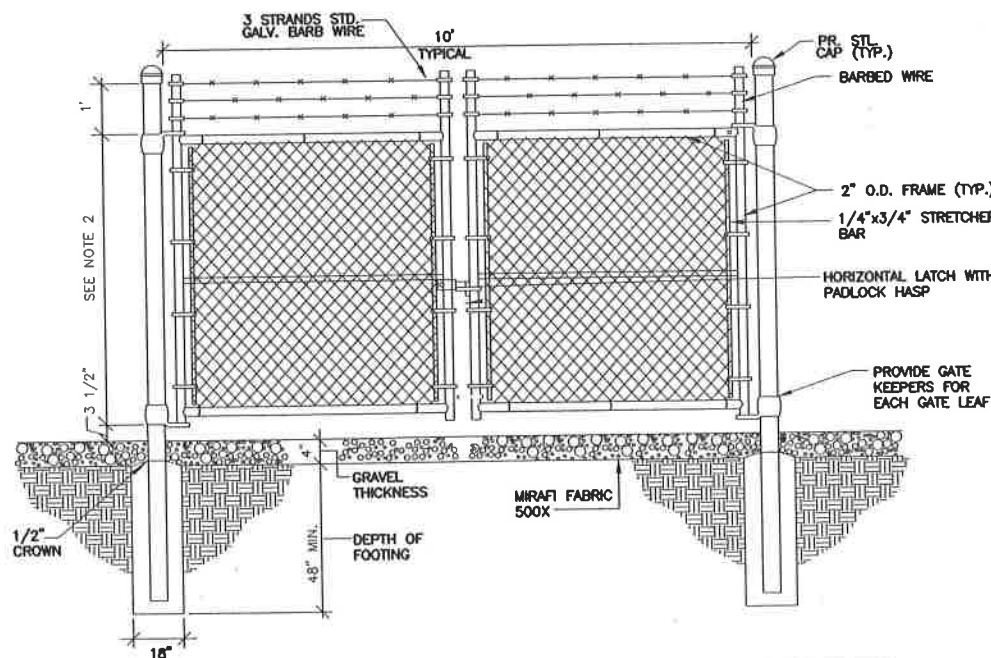
5 BARBED WIRE ARM DETAIL
D-3 NOT TO SCALE



NOTES:
1. ALL CONCRETE TO BE LIQUID, NON-DRY PREMIXED TYPE.
2. USE 8' HIGH FENCE FOR ALL NEW RAW LAND BUILDS AND MATCH EXISTING FENCE HEIGHT FOR CO-LOCATIONS.
3. 4" INTERMEDIATE LINE POST REQUIRED FOR GROUND RING CONNECTION IF GATE POST & CORNER POST ARE FURTHER THAN 50' APART.

6 CHAIN LINK FENCE DETAIL
D-3 NOT TO SCALE

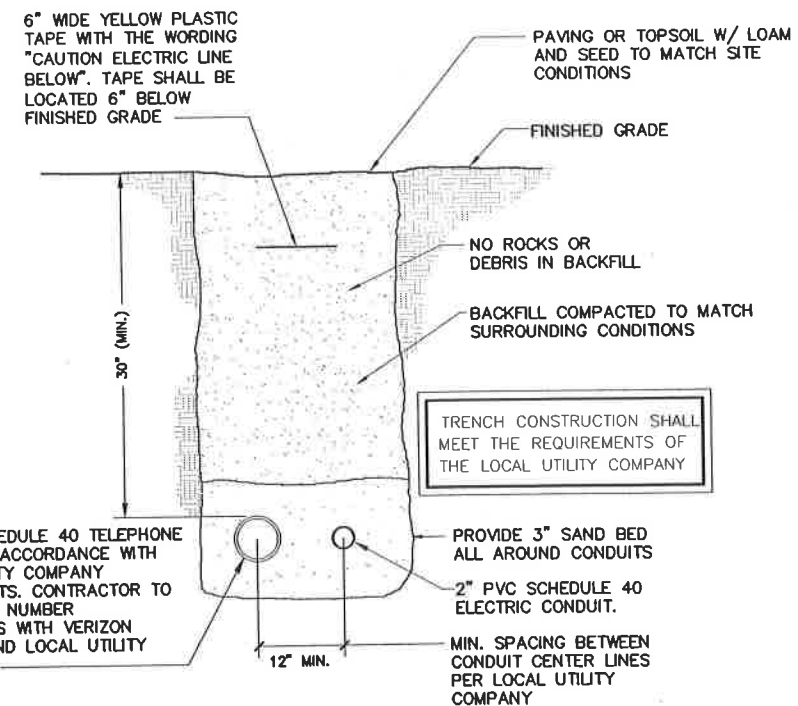
8' HIGH FENCE	FOOTINGS
LINE POST 2 1/2"	12" X 48"
CORNER POST 4" SCH 40	18" X 48"
GATE POST 4" SCH 40	18" X 48"



NOTE:
1. ALL CONCRETE TO BE LIQUID, NON-DRY PREMIXED TYPE.
2. USE 8' HIGH FENCE FOR ALL NEW RAW LAND BUILDS AND MATCH EXISTING FENCE HEIGHT FOR CO-LOCATIONS.

7 DOUBLE SWING GATE DETAIL
D-3 NOT TO SCALE

10' HIGH FENCE	FOOTINGS
GATE POST 4" SCH 40	18" X 48"



4 BURIED CONDUIT DETAIL
D-3 NOT TO SCALE

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A & E _____

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SITE DETAILS

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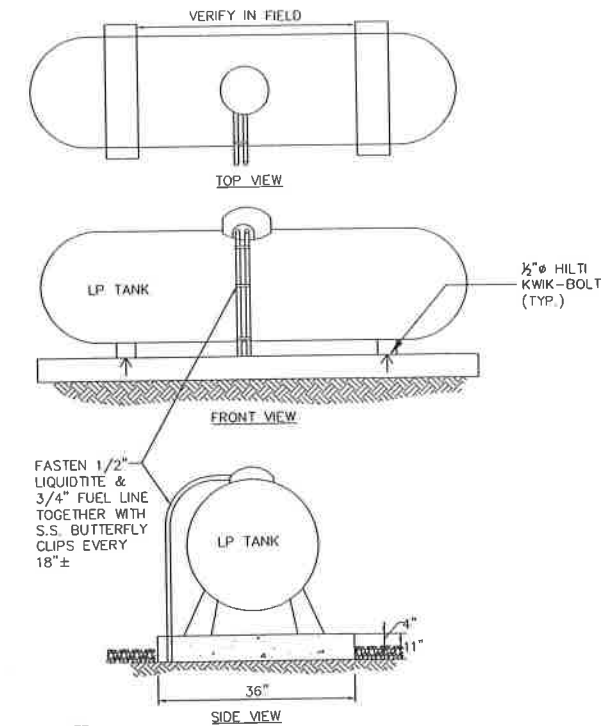
SEEKONK 5

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SEEKONK, MA

PAD & TANK DETAILS

D-4

CONSTRUCTION

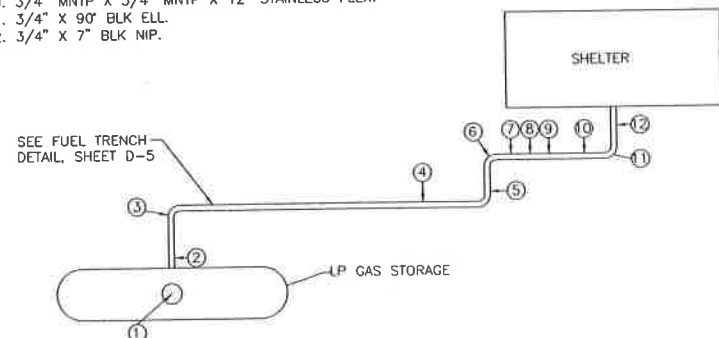


- NOTE:
1. NO ZIP TIES SHALL BE USED ON TANK LINE RUNS. USE ONLY CLAMPS. SEAL OR USE CAP FOR EXIT OF WIRES FROM CONDUIT.
 2. FUEL LINE IS 3/4" POLY (SEE PLUMBING DETAIL THIS SHEET)
 3. FUEL LINE & LIQUIDITE LINE TO BE ROUTED DOWN SIDE OF TANK FACING COMPOUND FENCE.
 4. FUEL GAUGE WIRING TO BE RUN IN LIQUIDITE CONDUIT.

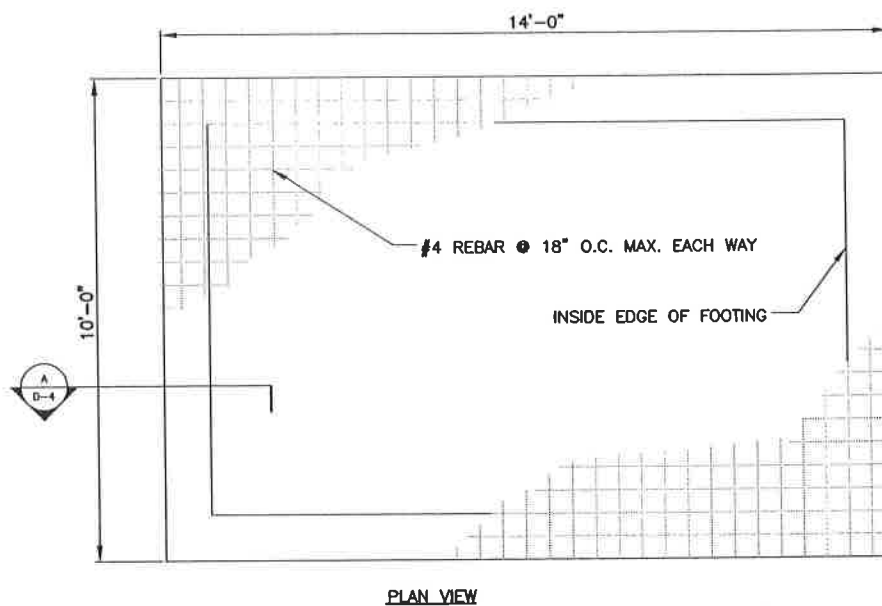
6
D-4
LP TANK DETAIL
NOT TO SCALE

NOTES KEY

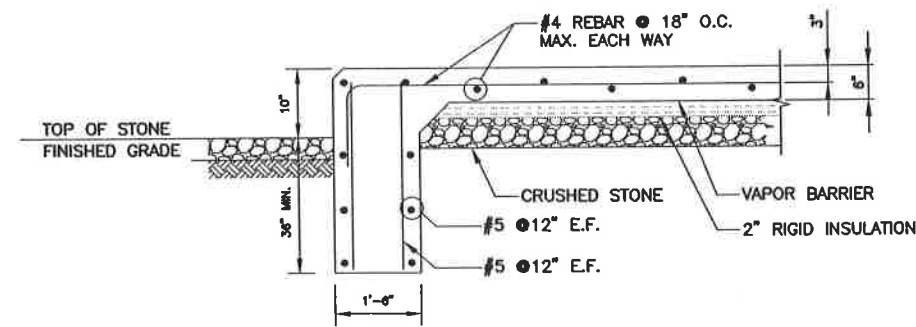
1. REGO-LU40484 TWIN STAGE REGULATOR W/ HIGH PRESSURE HOGTAIL.
2. 3/4" X 5'-GAS TRACPIPE W/ CONNECTORS.
3. 1" CTS X 3/4" MNPT ANODELESS RISER W/ PERMASERT COUPLING.
4. 1" CTS POLYETHYLENE GAS PIPE.
5. 1" CTS X 3/4" MNPT ANODELESS RISER W/ PERMASERT COUPLING.
6. 3/4" X 90° BLK ST. ELL.
7. 3/4" FNTP X 3/4" FNTP BALL VALVE-SHUT OFF.
8. 3/4" X CLOSE BLK NIP.
9. 3/4" BLK UNION.
10. 3/4" MNTP X 3/4" MNTP X 12" STAINLESS FLEX.
11. 3/4" X 90° BLK ELL.
12. 3/4" X 7" BLK NIP.



7
D-4
LP FUEL LINE PLUMBING DETAIL
NOT TO SCALE



PLAN VIEW



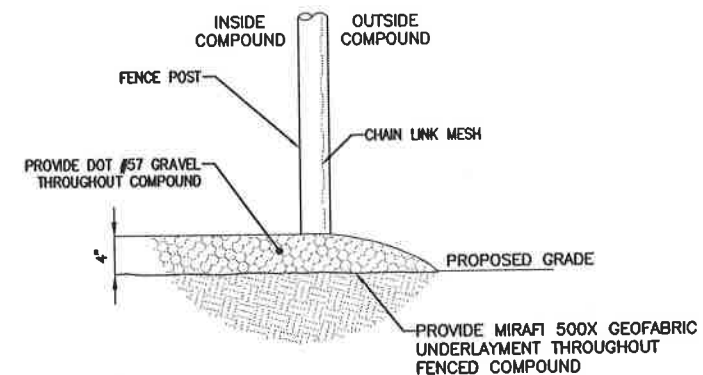
- NOTES:
1. BOTTOM OF FOUNDATION MUST BE BELOW FROST LINE AND BEAR ON UNDISTURBED SOIL.

A
D-4
SECTION
NOT TO SCALE

CONCRETE NOTES

1. CONCRETE DESIGN & CONSTRUCTION SHALL CONFORM TO ACI 318-99.
2. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 AND BE DETAILED IN ACCORDANCE WITH ACI-318
3. THE REINFORCING STEEL CONTRACTOR SHALL FABRICATE ALL REINFORCEMENT & FURNISH ALL ACCESSORIES, CHAIRS, SPACER BARS & SUPPORTS NECESSARY TO SECURE THE REINFORCEMENT UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. CONCRETE COVER FOR REINFORCEMENT:
CONCRETE CAST AGAINST EARTH.....3"
CONCRETE EXPOSED TO WEATHER OR EARTH.....2"
CONCRETE SLAB TOP COVER.....1 1/2"

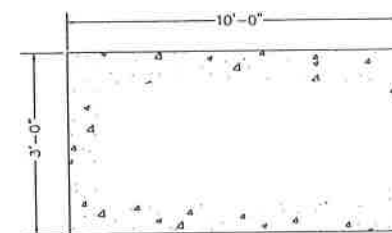
1
D-4
CONCRETE SLAB PLAN
NOT TO SCALE



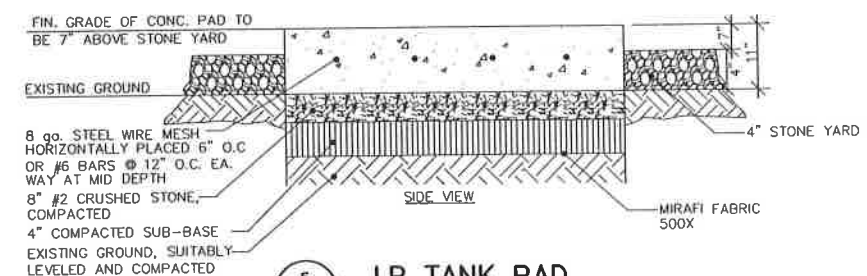
NOTES:

1. INSTALL MIRAFI GEOFABRIC WITH 12" MIN. LAP JOINTS ON FLAT, HORIZONTAL SURFACES OR PER THE MANUFACTURER'S SPECIFICATIONS FOR SLOPED SURFACES.
2. LEVEL AND COMPACT GRAVEL TO PREVENT SHIFTING.

4
D-4
GRAVEL COMPOUND DETAIL
NOT TO SCALE

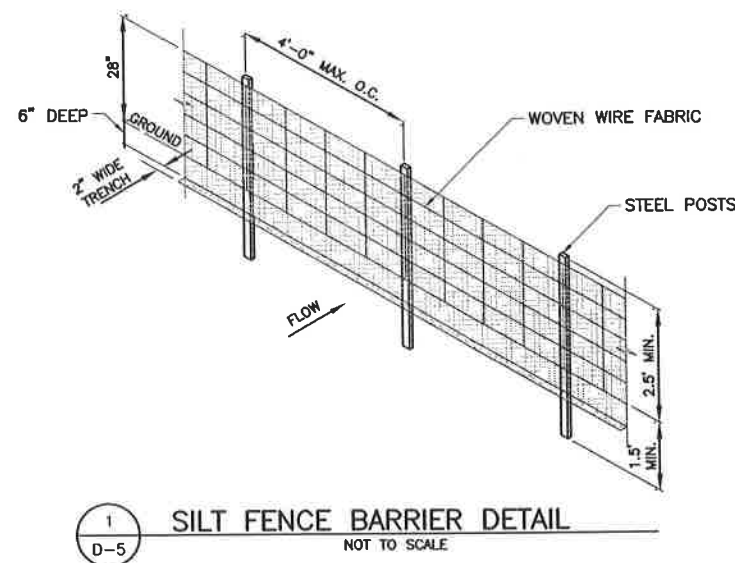


PLAN VIEW



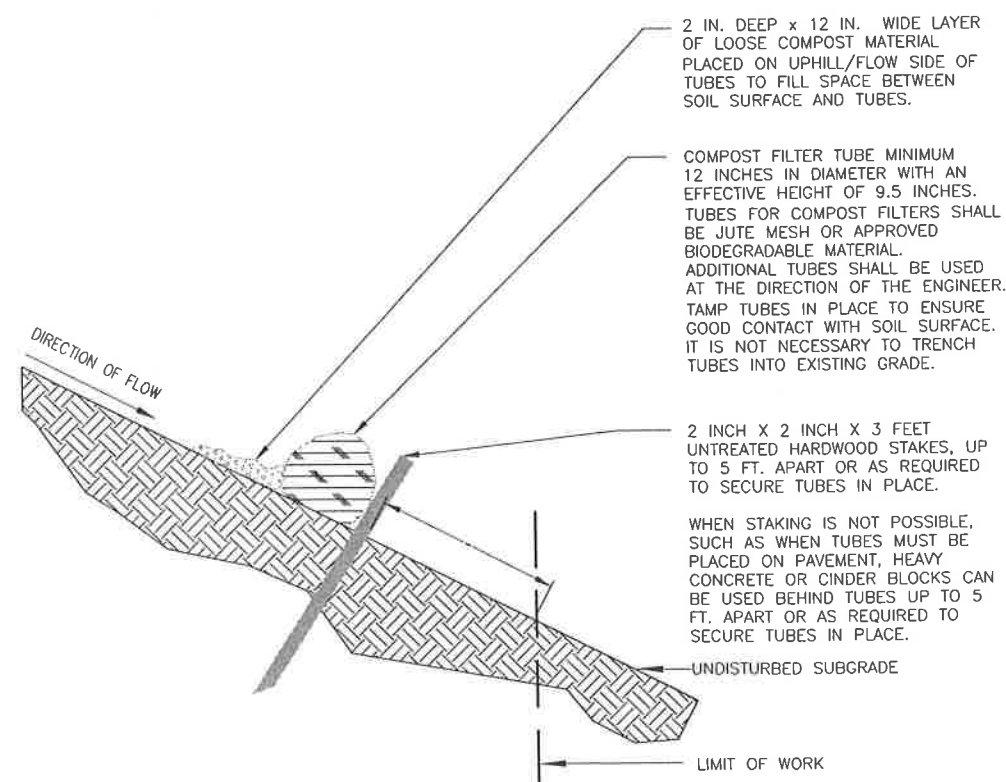
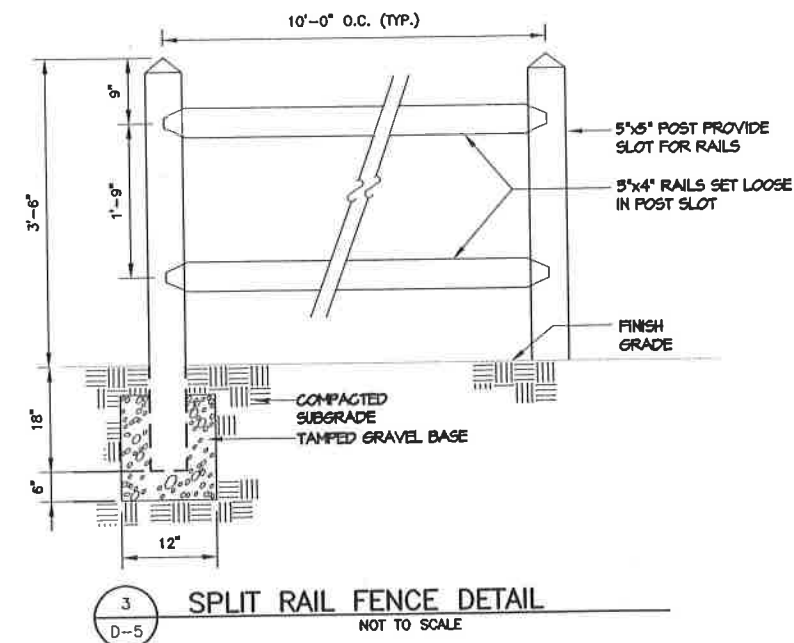
5
D-4
LP TANK PAD
NOT TO SCALE

RECEIVED APR 29 2016



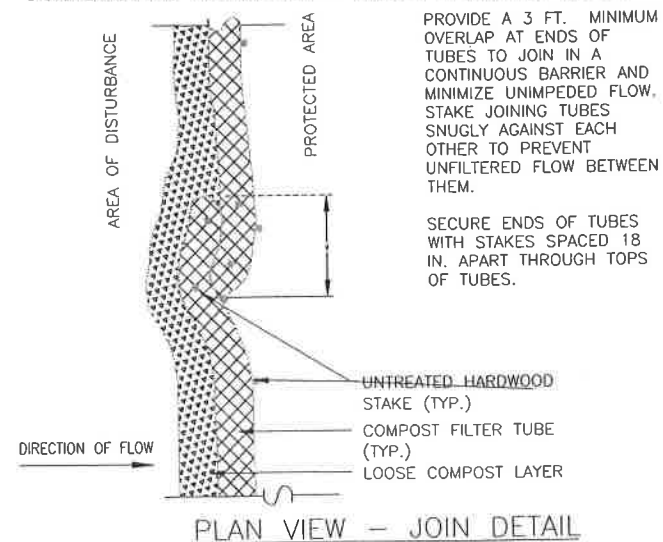
MAINTENANCE:

1. INSPECT BARRIERS AT THE END OF EACH WORKING DAY, OR AFTER EACH RAIN, AND REPAIR OR CLEAN AS NECESSARY.
2. REMOVE SEDIMENT FROM BARRIER WHEN TWO-THIRDS FULL.
3. DISPOSE OF SEDIMENT SO THAT IT WILL NOT ENTER THE BARRIER AGAIN AND STABILIZE WITH VEGETATION.
4. REPLACE FILTER FABRIC WHEN DETERIORATED.
5. DESIGN LIFE OF A SYNTHETIC SILT FENCE IS APPROXIMATELY 6 (SIX) MONTHS.
6. MAINTAIN UNTIL THE PROJECT IS VEGETATED OR OTHERWISE STABILIZED.
7. REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.



GENERAL NOTES:

1. PROVIDE A MINIMUM TUBE DIAMETER OF 12 INCHES FOR SLOPES UP TO 50 FEET IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSEING OF FILTER TUBES TO CREATE A FILTER BERM. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
2. INSTALL TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
3. DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS.
4. CONFIGURE TUBES AROUND EXISTING SITE FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF.



MAINTENANCE:

1. INSPECT BARRIERS AT THE END OF EACH WORKING DAY, OR AFTER EACH RAIN, AND REPAIR OR CLEAN AS NECESSARY.
2. REMOVE SEDIMENT FROM BARRIER WHEN TWO-THIRDS FULL.
3. DISPOSE OF SEDIMENT SO THAT IT WILL NOT ENTER THE BARRIER AGAIN AND STABILIZE WITH VEGETATION.
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7. REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.

verizon
400 FRIBERG PARKWAY
WESTBOROUGH, MA
01581

JACOBS
JACOBS ENGINEERING GROUP, INC.

343 CONGRESS STREET
5TH FLOOR
BOSTON, MA 02210
TEL (617) 242-9222
FAX (617) 242-9824



APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A & E _____

PROJECT NO: E2X30107

DRAWN BY: GPN

CHECKED BY: PLB

SUBMITTALS

7	04/19/16	REMOVED OLD COMPOUND
6	03/21/16	CONS COMM NOTES
5	01/25/16	WETLAND W/ MITIGATION
4	12/09/15	STORMWTR MGMT DETAILS
3	12/01/15	WETLAND BUFFERS
2	10/15/15	COMPOUND SHIFT
1	09/24/15	COMPOUND REVISED

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF VERIZON WIRELESS. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.

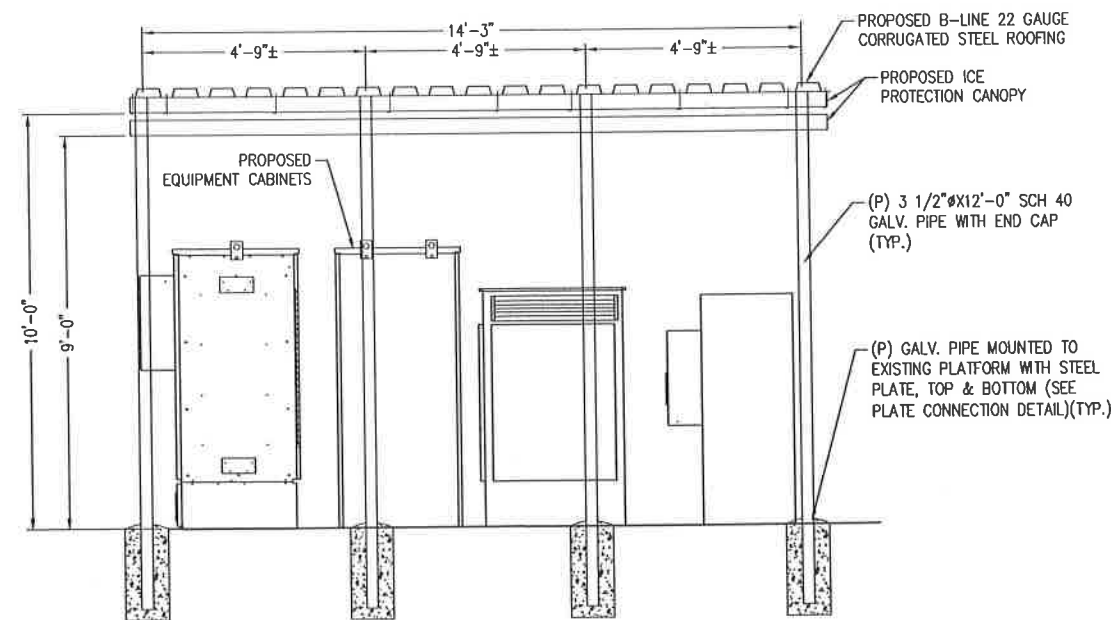
SEEKONK 5

1494 FALL RIVER AVENUE
SEEKONK, MA

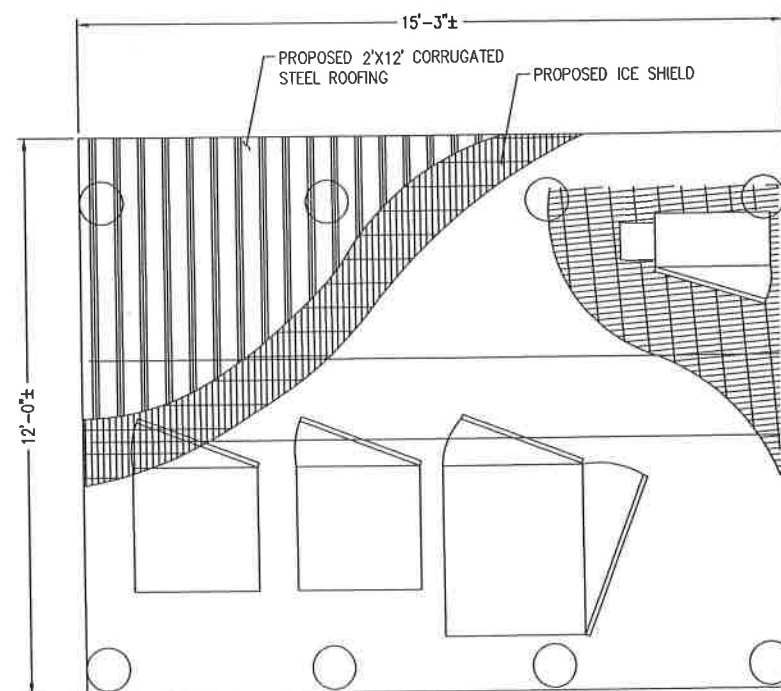
EROSION CONTROL DETAILS

D-5
CONSTRUCTION

RECEIVED APR 29 2016

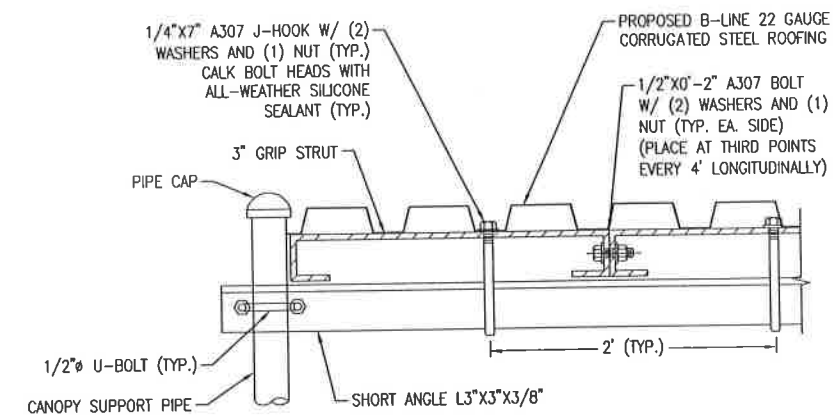


ELEVATION VIEW

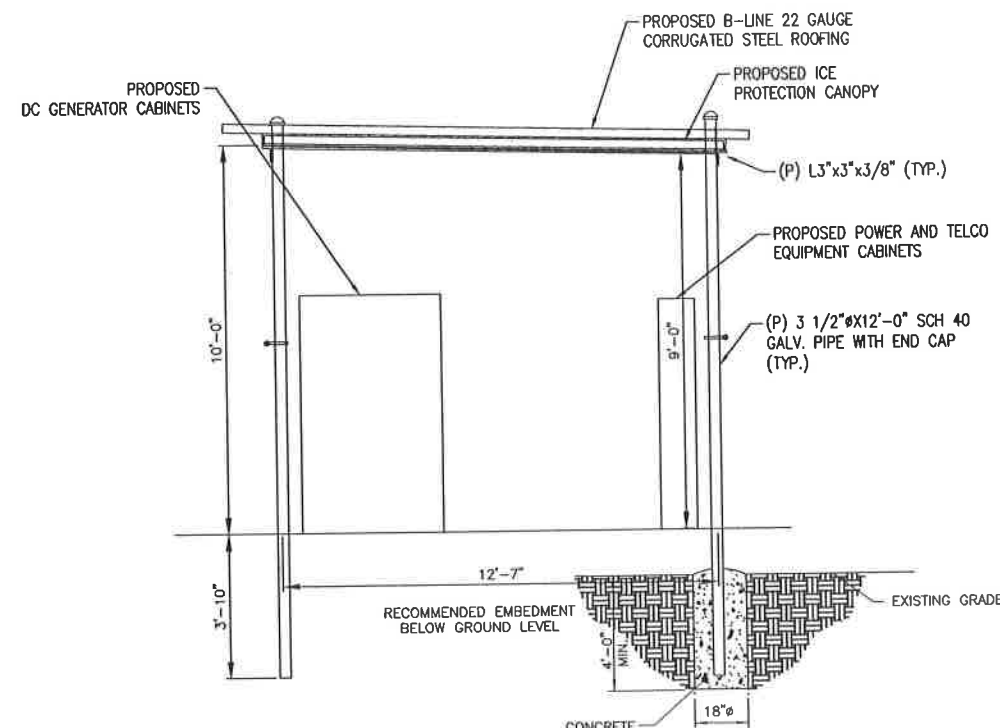


PLAN VIEW

NOTE:
J-HOOK PATTERN NOT
SHOWN FOR CLARITY.



MOUNTING DETAIL



SIDE VIEW

1 ICE SHIELD CANOPY DETAIL
D-6 NOT TO SCALE

verizon
400 FRIBERG PARKWAY
WESTBOROUGH, MA
01581

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JACOBS ENGINEERING GROUP, INC.

343 CONGRESS STREET
5TH FLOOR
BOSTON, MA 02210
TEL (617) 242-9222
FAX (617) 242-9824



APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A & E _____

PROJECT NO: E2X30107

DRAWN BY: GPN

CHECKED BY: PLB

SUBMITTALS

7	04/19/16	REMOVED OLD COMPOUND
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SEEKONK 5

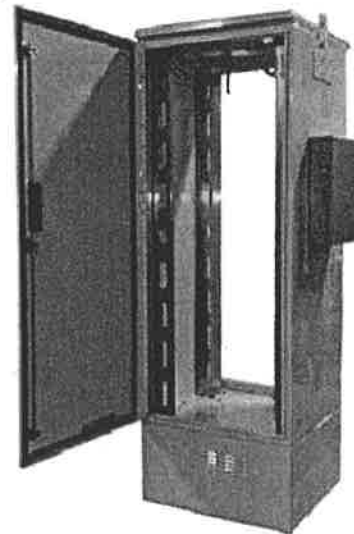
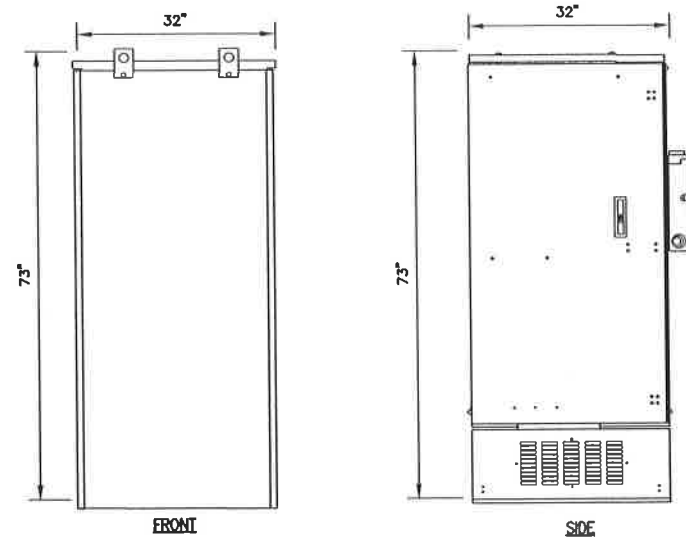
1494 FALL RIVER AVENUE
SEEKONK, MA

ICE SHIELD DETAIL

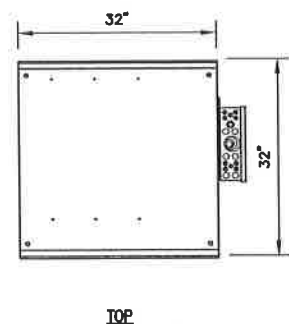
D-6
CONSTRUCTION

SCALE: NONE

RECEIVED APR 29 2016

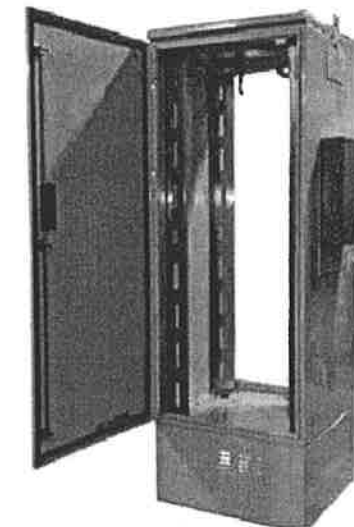
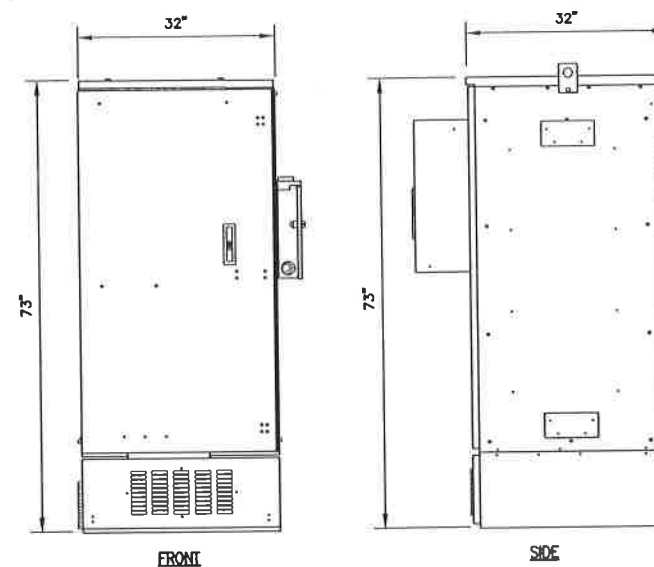


ISOMETRIC



TOP

SOURCE:
CHARLES UNIVERSAL BROADBAND ENCLOSURES
(CUBE) BATTERY BACK UP CABINET PART NO.
CUBE-BB48E1HN1 (73"x32"x32")



ISOMETRIC

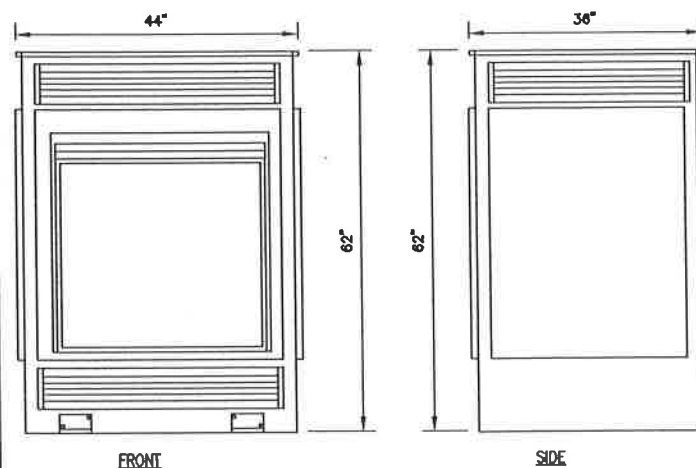
SOURCE:
CHARLES UNIVERSAL BROADBAND ENCLOSURES
(CUBE) BTS CABINET PART NO. CUBE-PM63911JF1
(73"x32"x32")

1 CHARLES (CUBE) BATTERY BACKUP CABINET

SCALE: NONE

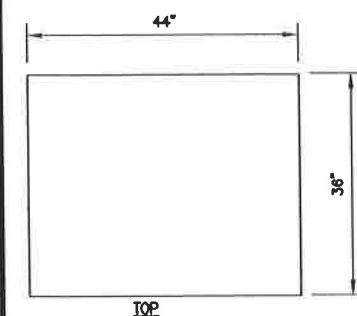
2 CHARLES (CUBE) RADIO/BTS CABINET

SCALE: NONE



ISOMETRIC

SOURCE:
POLAR POWER NATURAL GAS
10 KW DC GENERATOR - 8220K-972
WITH VERTICAL ENCLOSURE



TOP

3 DC GENERATOR DETAIL

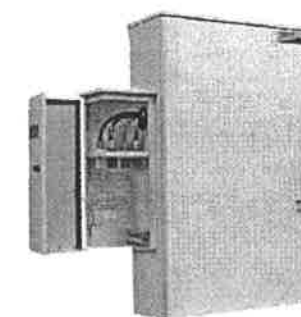
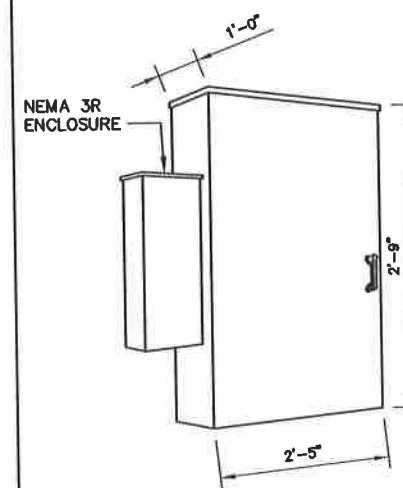
SCALE: NONE

4 SPACE NOT USED

SCALE: NONE

5 MP-VW SERIES POWER TRANSFER CENTER

SCALE: NONE



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APPROVALS

LANDLORD _____
LEASING _____
R.F. _____
ZONING _____
CONSTRUCTION _____
A & E _____

PROJECT NO: E2X30107

DRAWN BY: GPN

CHECKED BY: PLB

SUBMITTALS

7	04/19/16	REMOVED OLD COMPOUND
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SEEKONK 5

1494 FALL RIVER AVENUE
SEEKONK, MA

EQUIPMENT CABINET DETAILS

D-7
CONSTRUCTION

RECEIVED APR 29 2016



V

Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: May 10, 2016

To: Seekonk Planning Board

From: John J. Aubin III, Town Planner

Re: Request to re-designate one of two affordable development lots in the Country Brook Estates residential development

Attached please find a request by Costa Development, LLC to remove the affordable designation from lot 18 within the Country Brook Estates residential development and designate lot 1 as the second affordable unit in the development. The proposed substitution does not appear to negatively impact the compliance of the development with the provisions of **Section 9.2.15 Density Bonus Option**.

Thank you.

COSTA DEVELOPMENT LLC
950 Taunton Avenue
Seekonk, MA 02771

March 29, 2016

Mr. John Aubin III
Seekonk Planner
Seekonk Town Hall
100 Peck Street
Seekonk, MA 02771

Mr. Aubin,

Subject: Affordable Lots in Country Brook Estates

Country Brook currently has two designated affordable lots—Lot 15 and Lot 18.

I would like to designate Lot 1 to be an affordable lot instead of Lot 18.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael Costa', with a stylized, cursive script.

Michael Costa

CONTRACT

March 12, 2016

Michael Costa
Country Brook Estates
Seekonk, Ma

**RE: COUNTRY BROOK ESTATES
LOCAL ACTION UNITS ONLY APPLICATION**

Dear Michael,

As you are aware the permit for the Country Brook Estates development was approved for 18 single family homes in accordance with the Town's Inclusionary Zoning by law which requires 10% (2) of the units to be designated as affordable. The Town requires all of the affordable units are to be added to the states subsidized affordable housing inventory list ("SHI").

This agreement is a contract to have 2 homes designated as "Affordable" which are to be sold in accordance with the Department of Housing and Community Development ("DHCD") rules and regulations for inclusion on the SHI.

This letter constitutes a contractual agreement between Mr. Michael Costa (the "developer") and Delphic Associates LLC ("Delphic") for consulting services pertaining to the development of an affordable housing complex known as Country Brook Estates, in the Town of Seekonk, Ma.

The developer has received a Permit from the Seekonk Planning Board to develop a development consisting of 18 single family homes known as Country Brook Estates. The development is to include 2 homes designated as affordable in accordance with DHCD'S Local Initiative Program – Local Action Units Only Program ("LIP-LAU").

Delphic shall prepare a Department of Housing and Community Development ("DHCD") Local Action Units Only Application ("LAU") in accordance with DHCD's Local Initiative Program ("LIP"). The application will require the endorsement of the Board of Selectman and the Developer. Delphic will attend all meetings with the Board of Selectman, Zoning Board of Appeals and other Boards as necessary.

DELPHIC agrees to provide the following services to the developer for the development:

PHASE I: LOCAL ACTION UNITS ONLY APPROVAL

Delphic will seek approval for the development under DHCD's Local Action Units Only ("LAU") process in accordance with DHCD's Local Initiative Program ("LIP"). This program best meets the real estate objectives of the developer.

- Delphic will prepare and submit one original and one copy of the application for an endorsement by the Board of Selectman in accordance with the "LIP" program requirements. If more than 2 copies of the application are necessary, Delphic shall prepare at a cost to the developer of \$30 per copy. The filing fee, if any to the Board of Selectman shall be the responsibility of the developer.
- Upon the issuance of the executed "LIP" application by the Board of Selectman, Delphic will prepare and submit one original and one copy of the endorsed application for approval by DHCD in accordance to the program requirement.

FEE STRUCTURE FOR DEVELOPMENT SERVICE PHASES I

Delphic will be paid a consultant fee of \$ 7,500 for services rendered in Phases I. Payment shall be as follows:

▪ Signing of contract.	\$ 1,500
▪ Submission of "LIP" application to Select Board.	\$ 1,500
▪ Upon receipt of executed application from Select Board.	\$ 2,500
▪ Upon approval of the application by DHCD.	\$ 2,000
TOTAL	\$ 7,500

PHASE II: AFFIRMATIVE FAIR HOUSING MARKETING PROGRAM LOTTERY MARKETING PLAN

The lottery and affirmative fair housing issues for the units identified for the affordable buyers in accordance with DHCD Rules and Regulations.

PHASE II A

- Prepare and implement a Fair Housing Marketing & Outreach Plan the "marketing plan", which meets the affirmative fair housing objectives of DHCD, Ch. 40B; and the Monitoring Agent (if applicable).
- Preparing the Lottery Package which will include information on frequently asked questions, the application and deed rider summary.
- Obtaining required approvals of the marketing plan and lottery package;
- Determining the sales prices of the affordable units;
- Determining with local officials the type of Local Preference (if any) to be used in the Lottery in accordance with 760 CMR 56.00.

PHASE II B

- Determining the appropriate media for advertising and minority outreach to attract the greatest number of applicants.
- Make available the Lottery Package including the FAQ and the application on the Delphic Associates Mass Affordable Homes, Mass Access, Citizens Housing and Planning Association (CHAPA) web sites.
- Approval of advertising budget from the developer.
- Responsible for placements of all advertising. Developer is responsible to make financial arrangements for payment with media sources for advertising cost, Delphic will place the ads on behalf of the developer.
- Conducting a workshop for interested lottery participants.
- Assist applicants in securing pre-approval letters from financial institutions.
- Review all applications, for completeness, including but not limited to 3 years tax returns with W2, 5 most recent paystubs, 3 months checking and savings statements, most recently quarterly statements for 401 K, pensions etc., pre-approval financing letter and a work history narrative.
- Classifying all lottery applicants by category to include preference for Local, Minority and At-Large.
- Notifying each applicant of their application coding for the lottery.
- Conduct the actual Lottery.

PHASE II C

POST LOTTERY

- Preparing the Purchase and Sale Agreement and obtain all signatures.
- Assisting buyer in obtaining a financing commitment;
- Assisting the developer in the preparation of Condominium Questionnaires
- Assisting the developer in the preparation and or review of Condominium Budgets and Documents
- Determining or review the beneficial interest schedules for affordable units.
- Submittal of buyers financing commitment to the Monitoring Agent for Buyer Approval; (Local Initiative Program only)
- Co-ordinate with buyer and builder the buyers color selections, if available.
- Coordinating all of the above with the developer regarding the availability for occupying of the Affordable unit.
- Accompanying the buyer on all site visits.
- Accompanying buyer with seller's representative on Final Inspection;
- Coordinate closing with buyer, seller, in addition the lender, buyer and seller's counsel;
- Delphic will attend the closing.

DEVELOPER RESPONSIBILITIES

- Developer shall provide building specifications, floor plans, elevations and site plans.
- Developer shall be responsibility for payment of all advertising
- If the development is a single family development with a homeowners' association, the developer shall provide the Homeowners' Association Documents with a budget and the assessment amount to each home owner.
- The Consultant will submit to the Developer a proposed Purchase and Sale form (P&S) that it has used in the past. It is the responsibility of the developer to

amend the P&S and submit the final form or in the alternative to provide Delphic with the P&S form it prefers to use.

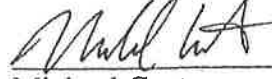
FEE STRUCTURE FOR MARKETING OF AFFORDABLE HOMES

Delphic will be paid a fee of 5% for Lottery Services to be paid at time of closing of the affordable home.

DELPHIC ASSOCIATES, LLC

Paul E. Cusson,
Managing Member

Costa Development, LLC



Michael Costa
Managing Member

COMMONWEALTH OF MASSACHUSETTS

Bristol, _____, 2016

On this _____ day of _____, 2016 before me, the undersigned notary public, personally appeared, PAUL E. CUSSON, Managing Member of DELPHIC ASSOCIATES, LLC, proved to me through satisfactory evidence of identification, which was Massachusetts Driver's License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public

My Commission expires: _____

COMMONWEALTH OF MASSACHUSETTS

County of _____, 2016

On this _____ day of _____, 2016 before me, the undersigned notary public, personally appeared, _____, proved to me through satisfactory evidence of identification, which was Massachusetts Driver's License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public

My Commission expires: _____



Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

To: The Planning Board
From: John J. Aubin III, Town Planner
Date: May 10, 2016
Application Filed: May 3, 2016

APPROVAL NOT REQUIRED REVIEW (ANR)
John T. Drohan – Plat 16, Lot 2 – 41 Lake Street

Existing Conditions:

The subject lot, AP 16, lot 2 is comprised of 23.67 acres of land, located in an R-2 Zoning District having a minimum required 22,500 square feet of area and 120' of frontage per lot in accordance with **Section 5** of the Seekonk Zoning By-laws. Lot 2 is currently developed with a single family dwelling and the remainder of the property is undeveloped. Lot 2 has approximately 135 feet of frontage on Taunton Avenue and approximately 715 feet of frontage on Lake Street. The submitted plan reconfigures Lot 2 into 5 lots (labeled ANR LOTS 1-5). Lots 1-4 would be considered new lots for development as they conform to the area and frontage requirements of the Zoning By-law. The fifth lot (labeled ANR LOT -5), does not meet the required minimum frontage, is labeled as "Not a buildable lot", and appears to be configured to provide future possible access for further subdivision of the proposed 5.8 acres parcel. Attached please find a copy of the Town's online GIS aerial of the subject lots and surrounding area.

Proposed Lot Amendments and plan references:

The submitted plan creates four new lots for development and one "not buildable" lot from the existing subject lot (AP 16, lot 2) and results in lot configurations as follows:

- ANR LOT 1 having 14.76 acres of land area and approximately 135 feet of frontage on Taunton Avenue; and 298 feet of frontage on Lake Street.
- ANR LOT 2 having 1.6 acres of land area and approximately 120 feet of frontage on Lake Street.
- ANR LOT 3 having .6 acres of land area and approximately 190 feet of frontage on Lake Street.
- ANR LOT 4 having .6 acres of land area and approximately 150 feet of frontage on Lake Street.
- ANR LOT 5 having 5.8 acres of land area and approximately 120 feet of frontage on Lake Street. **Not a Buildable Lot**

**TOWN OF SEEKONK**FORM **A****PLANNING BOARD****100 PECK STREET, SEEKONK, MA 02771
1-508-336-2961****APPLICATION FOR ENDORSEMENT OF
PLAN BELIEVED NOT TO REQUIRE APPROVAL**Date: May 2, 2016Applicant Name John T. Drohan, et al Phone No. 508-259-8960Applicant Address 41 Lake Street, Seekonk, MA 02771Address of Subject Property 41 Lake Street, Seekonk, MASubject Property Plat No. 16 Subject Property Lot No. 2 Present Zoning R-21. Deed of property recorded in Bristol County Registry, Book No. 19812 Page No. 1432. Name of Engineer or Surveyor InSite Engineering Mass Lic. No. 40041Address 1539 Fall River Ave, Seekonk, MA 02771

Brief Description of lots lines being changed and why: _____

The subdivision will create five new lots from the 23.67 acres of land. Four of the lots will be buildable lotsmeeting current zoning and one lot will be a non-buildable lot.

- ☒ Application Form (2 x) Please note: both copies must be originals, 1 copy for Planning, 1 copy for Town Clerk
- ☒ Application fee, ck# _____
Please note: \$100 per lot, \$200 minimum, (made payable to the Town of Seekonk)
- ☒ Certificate of Good Standing, completed and signed by Tax Collector
- ☒ Plans received in CD or DVD format
- ☒ Plans received (1) Mylar, (4) prints, (1) 11" X 17", (see sec. 3.3.4 of rules & regs.)

MAY 3 '16 PM12:13

To the Planning Board:

The undersigned, believing that the accompanying plan of his property in the Town of Seekonk does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

Received by Planning Board or Town Clerk:

Date: May 3, 2016

Time: 12:13 pm

*Signature: Kristen L. Henney

*Signature of Applicant

Olaf A. G. Droscher

Address of Applicant 63 Droscher Ct
Seekonk, MA 02771

*Signature of Owner or Notarized letter (if applicable)

Address of Owner _____

***Please use blue pen to sign**

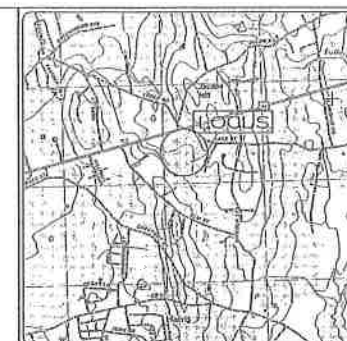
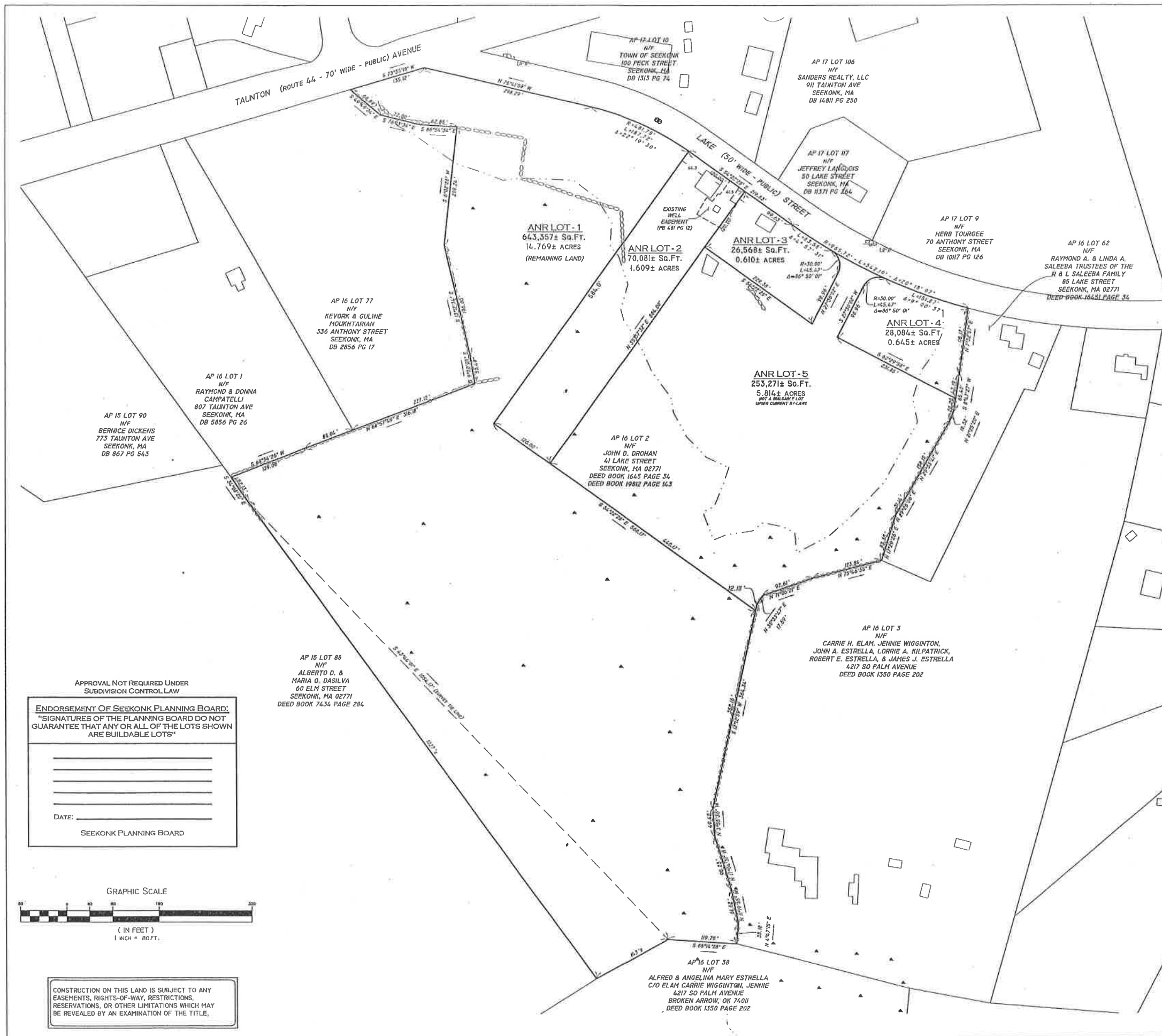
41 Lake Street - Existing Conditions



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

Town of Seekonk, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 5/1/2015
Properties updated 1/1/2015



LOCATION MAP (1"=2500')

REGISTRY USE ONLY

GENERAL NOTES:

- 1) WETLAND DELINEATION BY ECOSYSTEM SOLUTIONS, INC.
- 2) PROPOSED LOTS TO BE SERVICED BY TOWN WATER, SEPTIC SYSTEMS AND UNDERGROUND UTILITIES.
- 3) FLOOD HAZARD ZONE A APPLICABLE TO THIS PARCEL, REFERENCE FEMA COMMUNITY-PANEL #2500630010A, 09/1979.

PLAN REFERENCE:

- 1) PLAN & PROFILE OF LAKE STREET, SEEKONK, MA BY WATERMAN ENGINEERING CO., NOVEMBER, 1933.
- 2) DEED BOOK/PAGE: 19812/143, 1645/34.
- 3) MAP OF LAND IN SEEKONK, MA BELONGING TO RUSSELL C. & MARY E. WYATT BY WATERMAN ENGINEERING CO., FEBRUARY, 1939.
- 4) MAP OF LAND IN SEEKONK, MA SURVEYED FOR SEALTEST FOODS BY WATERMAN ENGINEERING CO., AUGUST, 1963.
- 5) PLAN OF ROAD IN SEEKONK, BRISTOL COUNTY, MA LOCALLY KNOWN AS TAUNTON-PROVIDENCE TURNPIKE LAID OUT AS A STATE HIGHWAY FOR THE MASSACHUSETTS HIGHWAY COMMISSION; DATED APRIL, 1901.
- 6) PLAN & PROFILE OF LAKE STREET, SEEKONK, MA, DECEMBER, 1933.
- 7) PROPOSED WELL EASEMENT ST. NO. 41 LAKE STREET; BY WESTON & SAMPSON ENGINEERS; DATED JANUARY 24, 2011; PLAN BOOK 481 PAGE 12.

ZONING DISTRICT:

"RESIDENCE" R-2
MINIMUM FRONTAGE = 120'
MINIMUM AREA = 22,500 S.F.
MINIMUM SETBACKS - FRONT = 35'
SIDE = 25' 2 STORY
REAR = 50'

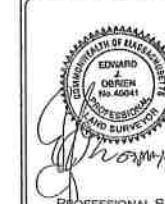
"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MASSACHUSETTS BOARD OF REGISTRATION OF PROFESSIONAL LAND SURVEYORS STANDARDS."

PREPARED BY: DATE:

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS." THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN.

PROFESSIONAL LAND SURVEYOR DATE:

"FORM "A" PLAN - (APPROVAL NOT REQUIRED)"



"DROHAN PROPERTY"
41 LAKE STREET, SEEKONK, MASSACHUSETTS 02771
ASSESSORS MAP 16 LOT 2

APPLICANT: DROHAN FAMILY
41 LAKE STREET, SEEKONK MA. 02771

JOB #	SCALE:	DRAWN BY:	DATE:
07-033	1"= 80'	CEA	MAY 3, 2016

REVISED:



INSITE Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InsiteEngineers.com

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OF 1

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Planning Board
100 PECK STREET
SEEKONK, MASSACHUSETTS 02771
1-508-336-2961

MEMORANDUM

Date: May 10, 2016

To: Planning Board

From: John J. Aubin III, Town Planner

Re: 2016 Spring Proposed revisions to the **Rules and Regulations Governing the Subdivision of Land in the Town of Seekonk**

Attached please find an initial set of propped amendments to the **Rules and Regulations Governing the Subdivision of Land in the Town of Seekonk**. The revisions include both typographical and substantive amendments. It is requested that the Planning Board review the proposed amendments, recommended any additional amendments, and authorize preparation of the formal amendment process in accordance with **Section 9.4 Revision**.

**Spring 2016 Rules and Regulations Governing the Subdivision of Land in the town of Seekonk
Amendment Master List**

Section	Summary	Planner's Comments	Notes
Section III Approval Not Required	§ 3.6	Recordation by Planning Board or applicant	41 MGL 81V and 81X requires delivery to applicant
Section IV Preliminary Plan	§4.2 "the Preliminary Plan shall be drawn on tracing paper..."	Remove reference to tracing paper	
Section IV Preliminary Plan	§ 4.4.4 second sentence "Except where <u>the</u> Board of Health..."	Typographic error	
Section IV Preliminary Plan	§ 4.2.7 Certified list abutters	Requires a certified abutters list with Preliminary plan applications	
Section IV Preliminary Plan	§ 4.2.6 add the following to the end of the section: Notice of the Planning Board's review of the Preliminary Plan shall be provided to the abutters by the applicant, by regular mail	Provides for notice to abutters for Preliminary Plan reviews	
Section V Definitive Plan	§ 5.1 provides for notices prepared by the applicant and mailed by the Town	Preparation by the town and mailing by the applicant is the current policy	
Section V Definitive Plan	§ 5.2.1.2.3 last sentence Plans and applications are to be received by the Board at least <u>least</u> five business days prior to the next regularly scheduled meeting at which they are to be discussed.	Add "subject to advertising and notice requirements..." to the beginning of the sentence	
Section V Definitive Plan	§ 5.3.8 second sentence "extra space after "notion: "	Typographic correction	
Section V Definitive Plan	§§5.4 and 5.5 change "General Bylaws" to "General By-Laws"	Consistency: Bylaws or By-Laws	
Section V Definitive Plan	§ 5.6.2.2 <u>Sub-surface Conditions</u> "3. Describe any...subsurface soil and water conditions"	Consistency: Sub-surface or subsurface	
Section V Definitive Plan	§ 5.6.2.3.3.1 last sentence "Where information is available...(average vehicles per <u>h</u> our..."	"h" missing from hour	
Section V Definitive	§ 5.6.2.3.6.1 "Schools: Estimate the probably <u>probable</u> ..."	Typographical correction	

Plan			
Section V Definitive Plan	§ 5.92 "Upon final approval, it is shall be the responsibility of the Planning Board to submit the approved Definitive Plan to the Land Court or Registry of Deeds for Recording...."	Recordation by Planning Board or applicant	41 MGL 81V and 81X requires delivery to applicant
Section VI Performance Guarantee	§ 6.8 third line "Planning Board"	Typographical correction	
Section VI Performance Guarantee	§ 6.8 "... If the Board fails to so notify the developer and the Town Clerk within said forty-five days, the Town Clerk shall issue a certificate that the covenant is void with respect to any lots the release of which has been requested or that all obligations under the bond or other security are terminated and it may be returned to the developer...."	Can this be stated more clearly?	
Section VI Performance Guarantee	§ 6.8.2 <u>Drainage System</u> "Performance guarantees related to the drainage system shall not be released until one year following the approval of said drainage system by the Board or the Board's agents."	Should be clarified approved as? (being designed, being installed, etc)	
Section VI Performance Guarantee	§ 6.11 "A filling fee of \$125 , payable to the Town of Seekonk of \$125 shall be submitted with every request for reduction of security <u>surety</u> ..."	Revised for clarity	
Section VI Performance Guarantee	§ 6.11 "...For establishing or releasing covenants, the applicant shall submit a fee to the Planning Board equal to the cost of recording the covenant. Said fee shall be determined by the Registrar of Deeds. A courier fee shall also be submitted by the applicant to pay for the cost of bringing said plan to the Registry of Deeds for recording. Said fee shall be determined by the courier service, which shall be chosen by the Planning Board."	Remove?	
Section VII Design Standards	§7.2.1.1 "...Collector and arterial streets shall facilitate safe movements of traffic by providing ample sight distances and by avoiding steep horizontal and vertical <u>curved curves</u> particularly at approaches to		

	intersections.”		
Section VII Design Standards	§§ 7.2.2.4 and 7.2.2.5 and §§ 7.2.2.6 and 7.2.2.7 extra space between subsections	Formatting Correction	
Section VII Design Standards	<p>§7.2.3.6</p> <p>On arterial streets, whenever the approved street grade and the grade of the adjacent land is such that side slopes of one (1) foot vertical to five (5) foot <u>feet</u> horizontal or steeper are created and/or if hazardous roadside features or appurtenances are present and cannot be removed or redesigned, the developer shall be required to install a protective guardrail. For collector and minor streets, the Planning Board may require guard rails where side slopes of one (1) foot vertical to three (3) foot <u>feet</u> horizontal or steeper are present and/or where hazardous roadside features or appurtenances are present and cannot be removed or redesigned.</p>	Changed for consistency	
Section VII Design Standards	<p>§7.6 <u>Storm Drainage Systems</u></p> <p>The design of storm sewers, culverts, storage ponds and other drainage facilities shall be based on the calculations and requirements developed as per Section 5.5 of these rules and regulations or, if the Planning Board waives that section, shall be based upon the “rational method” or “Soil-Cover-Complex Method” as follows: 100 year design storm for culverts, bridges and storage/retention facilities, and 25 year design storm for storm sewers, catchbasins, manholes and other related drainage facilities.</p>	Formatting Correction	
Section VII Design Standards	<p>§7.7.1</p> <p>Before approval of a Definitive Plan the Board may require the plan to show a park or parks suitably located for playground or recreation purposes or providing light and air. In calculating the amount of land that shall be set aside as</p>	Formatting Correction	